



## Planning Commission Meeting Agenda

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281 James D. Nabors Drive  
Public Works Meeting Room  
Tuesday, September 12, 2023 --- Meeting at 4:00 p.m.

**Call to Order:**

**Approval of Minutes:** August 8, 2023

**Approval of Agenda:** September 12, 2023

**Public Hearing:**

- 1) Public Hearing: The Heritage Golf Residential Plat 1-Preliminary Plat
- 2) Public Hearing: The Pines at Lake Martin Plat 1-Preliminary Plat

**Unfinished Business:** None

**New Business:**

- 1) Appeal Case 2023-13: The Heritage Golf Residential Plat 1-Preliminary Plat Approval
- 2) Appeal Case 2023-14: The Pine at Lake Martin Plat 1-Preliminary Plat Approval

**Special Reports:**

**Reports from Council:** Chris Brown

**Reports from City of Alexander City:** Amanda Thomas

**Comments:**

**Adjournment:**



## Planning Commission Meeting

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281 James D. Nabors Drive  
Public Works Meeting Room  
Tuesday, September 12, 2023 --- Meeting at 4:00 p.m.

The Planning Commission of the City of Alexander City, Alabama, will hear public comment on a Preliminary Plat approval at the request of City of Alexander City as described:

- A. Russell Lands Development, LLC
- B. City of Alexander City Municipal Complex:  
281 James D. Nabors Drive, Alexander City, AL 35010
- C. Property Location: The Heritage Wicker Point Road
- D. Preliminary Plat approval: The Heritage Golf Residential Plat 1 in the Alexander City Corporate limits
- E. Tuesday, September 12, 2023 at 4:00 p.m.

The meetings will be accessible to all persons on a first-come, first-served basis. If you or someone attending have a disability which may require special services, materials or assistance or need further information, please contact Jan Jones, Zoning, at (256) 329-8426.

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Jan Jones

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Date & Time Posted



# Proof

<b>Client</b>	CITY OF ALEXANDER CITY LEGALS	<b>Phone</b>	(256) 329-6700
<b>Address</b>	PO BOX 552  ALEXANDER CITY, AL 35011	<b>EMail</b>	ap@alexandercityal.gov
		<b>Fax</b>	
<b>AD #</b>	1701816	<b>Requested By</b>	CITY OF ALEXANDER CITY LEGALS
<b>Account</b>	143941	<b>PO #</b>	
<b>Class</b>	2610	<b>Created By</b>	BRITTANY.SCH
<b>Start Date</b>	09/02/23	<b>Creation Date</b>	08/29/2023
<b>End Date</b>	09/02/23	<b>Dimensions</b>	2 X 5.0
<b>Run Dates</b>	2	<b>Price</b>	<b>\$122.00</b>
<b>Pubs</b>	Alexander City Outlook, Alexander-		
<b>Order #</b>	CityOutlook.com		
<b>Sales Rep</b>	Brittany Schofield	<b>Phone</b>	
		<b>EMail</b>	brittany.schofield@shelbycountyreporter.com
		<b>Fax</b>	

**NOT AN INVOICE**

**Planning Commission Meeting  
281 James D. Nabors Drive  
Public Works Meeting Room  
Tuesday, September 12, 2023 — Meeting at 4:00 p.m.**

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CONTRACT COST WITH HIS OWN ORGANIZATION. CONTRACTOR PREQUALIFICATION IS NOT REQUIRED TO BID ON THIS PROJECT. HOWEVER, THE AWARD OF THE CONTRACT WILL NOT BE MADE TO ANY BIDDER WHO, AT THE TIME OF THE AWARD, IS CONSIDERED BY THE ALABAMA DEPARTMENT OF TRANSPORTATION (ALDOT) TO BE DISQUALIFIED FROM BIDDING, NOR TO ANY BIDDER WHO IS AN AFFILIATE OF OR HAS A CORPORATE OFFICER, DIRECTOR, OR PRINCIPAL OWNER WHO IS A CORPORATE OFFICER, DIRECTOR, OR OWNER OF ANOTHER PERSON WHO IS PRESENTLY DISQUALIFIED BY ALDOT. FURTHER DETAILS AND DEFINITIONS REGARDING THIS PROVISION ARE INCLUDED IN THE PROJECT SPECIFICATIONS.

TO BE ELIGIBLE FOR CONSIDERATION, BIDS MUST BE SUBMITTED ON COMPLETE ORIGINAL PROPOSAL FORMS OR COPIES THEREOF MADE AVAILABLE BY THE OWNER. BID DOCUMENTS (INCLUDING PLANS AND PROPOSALS) ARE AVAILABLE AT EEF'S COMPANY, PC 1930 SECOND AVENUE NORTH, SUITE 150, BESSEMER, ALABAMA 35020, UPON PAYMENT OF A REFUNDABLE (IF PLANS ARE RETURNED IN REUSABLE CONDITION WITHIN 10 DAYS OF BID OPENING) DEPOSIT OF \$300.00. CHECKS SHALL BE MADE PAYABLE TO EEF'S COMPANY, PC. BID DOCUMENTS WILL BE MAILED ONLY UPON RECEIPT OF DEPOSIT.

NO BID DOCUMENTS WILL BE DISTRIBUTED LATER THAN 24 HOURS PRIOR TO THE SCHEDULED OPENING OF BIDS. IN ORDER TO SUBMIT A BID, BID DOCUMENTS MUST BE OBTAINED FROM EEF'S COMPANY, PC. BID DOCUMENTS ARE ON FILE AT EEF'S COMPANY, PC 1930 SECOND AVENUE NORTH, SUITE 150, BESSEMER, ALABAMA 35020

THIS IS A FEDERALLY FUNDED PROJECT. THE PROPOSED WORK SHALL BE PERFORMED IN CONFORMITY WITH THE RULES AND REGULATIONS FOR CARRYING OUT THE FEDERAL HIGHWAY ACT AND OTHER ACTS AMENDATORY, SUPPLEMENTARY, OR RELATIVE THERETO. THIS PROJECT IS SUBJECT TO THE CONTRACT WORK HOURS AND SAFETY STANDARDS ACT AND ITS IMPLEMENTING REGULATIONS. MBE/DBE PARTICIPATION IS ENCOURAGED; HOWEVER, NO SPECIFIC MBE/DBE GOALS HAVE BEEN ESTABLISHED FOR THIS PROJECT.

ACT OF 1984, 78 STAT. 252, 42 U.S.C. 2000D TO 2000D-4 AND TITLE 49, CODE OF FEDERAL REGULATIONS, DEPARTMENT OF TRANSPORTATION, SUBTITLE A, OFFICE OF THE SECRETARY, PART 21, NON-DISCRIMINATION IN FEDERALLY-ASSISTED PROGRAMS OF THE DEPARTMENT OF TRANSPORTATION ISSUED PURSUANT TO SUCH ACT, ALL BIDDERS ARE HEREBY NOTIFIED THAT IT WILL BE AFFIRMATIVELY ENSURED THAT IN ANY CONTRACT ENTERED INTO PURSUANT TO THIS ADVERTISEMENT, MINORITY BUSINESS ENTERPRISES WILL BE AFFORDED

AWARD. THE RIGHT TO REJECT ANY OR ALL BIDS AND TO DISREGARD ANY MINOR IRREGULARITIES IS RESERVED BY THE OWNER. HONORABLE CURTIS BAIRD MAYOR - CITY OF ALEXANDER CITY

Alexander City Outlook:  
Aug. 19, 26 and Sept. 2, 2023  
TAPUC-TA22(909)

**Do you have available jobs?**

Call 256.414.4250 to let others know about job opportunities at your business.

**EXCLUSIVE MONEY SAVING OFFER**

**000**  
INCHES    PANELED    IN DEPTH

**FOR 2 YEARS**

**AND**

**BUY 2 WINDOWS GET 2 FREE!**

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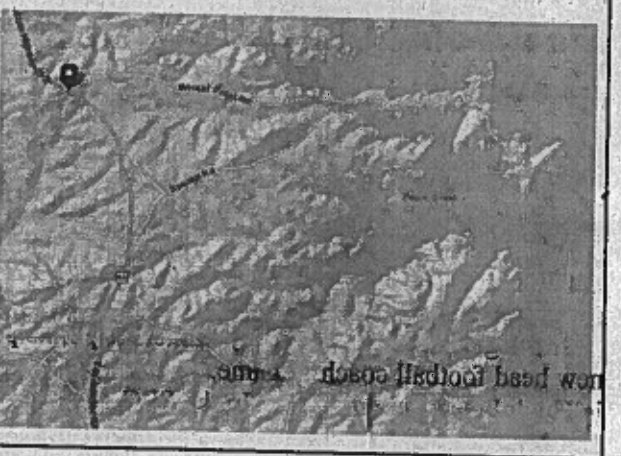
Call (833) 638-0762

**Planning Commission Meeting**  
281 James D. Nabors Drive  
Public Works Meeting Room  
Tuesday, September 12, 2023 --- Meeting at 4:00 p.m.

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- A. Russell Lands Development, LLC
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**LARRY E. SPEAKS & ASSOCIATES, INC.**  
**CONSULTING ENGINEERS & LAND SURVEYORS**

535 Herron Street  
Montgomery, Alabama 36104  
Telephone: 334.262.1091  
Facsimile: 334.262.2211

AIRPORTS  
BRIDGE DESIGN  
CONSTRUCTION MANAGEMENT  
ENVIRONMENTAL PERMITS  
HIGHWAY DESIGN  
LAND DEVELOPMENT PLANNING & DESIGN  
LAND USE STUDIES  
MUNICIPAL WORKS  
PARKS & RECREATION FACILITIES

SEWAGE COLLECTION, TREATMENT & DISPOSAL  
SOLID WASTE LANDFILLS  
STORM DRAINAGE STUDIES & DESIGN  
SUBDIVISIONS  
SURVEYING: LAND SURVEYS  
CONSTRUCTION SURVEYS  
TOPOGRAPHIC MAPS  
WATER SUPPLY, TREATMENT & DISTRIBUTION



Via email: [amanda.thomas@alexandercityal.gov](mailto:amanda.thomas@alexandercityal.gov)

July 28, 2023

City of Alexander City  
281 James D. Nabors Drive  
Alexander City, Alabama 35011

Attn: Ms. Amanda Thomas, Community Development Coordinator

**RE: Wicker Point - Heritage Golf Residential Plat No. 1  
Preliminary Plat Approval  
Alexander City, Alabama**

Dear Ms. Jones:

On behalf of the developer, Russell Lands Development, LLC, we request an appeal to the City of Alexander City Planning Commission for the above referenced project. The proposed project is located inside the city limits. The proposed plat includes 9 lots and 698 LF. of new roadway. The existing city water main will be extended to provide water service to the new lots. The existing force main will be extended to provide sanitary sewer service. APCO will provide power to the project.

Enclosed you will find the following:

1. Subdivision Application Form
2. Application fee of \$500
3. Six (6) copies of Wicker Point - Heritage Golf Residential Plat No. 1 (Preliminary)
4. Three (3) copies of the Construction Plans
4. List of the adjacent property owners.
5. List of utilities servicing the project.

The developer has requested to be heard at the September 12, 2023, Planning Commission meeting.

Should you need any additional information from our office, please let us know.

Yours very truly,

Steven E. Speaks, P.E., P.L.S.

Enclosures

- cc. Caroline Brown  
Drew Meacham  
Steve Arnberg  
Steve Forehand  
file



**CITY OF ALEXANDER CITY, ALABAMA  
SUBDIVISION APPLICATION**

Property owners in the City of Alexander City who wish to subdivide property within the City and within the City's extraterritorial planning jurisdiction must complete a Subdivision Application form. To request Planning Commission approval of a proposed subdivision plan, please complete the following application and return the form with all necessary supporting documents to City Hall. Incomplete applications will not be processed. For additional information, please call the City of Alexander City Enforcement Officer at (256) 329-6706 during regular business hours.

Applicant Information:

Name of Applicant: Russell Lands Development, LLC

Mailing Address: 2544 Willow Point Road, Alexander City, Alabama 35010

Business Hours Telephone #: ( 256 ) 329-0835

Fax # (If available): \_\_\_\_\_

Email address: Mr. Chad Calhoun ccalhoun@russellands.com

NOTE: If the applicant is NOT the owner of the subject property, then the application MUST be accompanied by a letter signed by the owner authorizing the applicant to submit the application.

Consulting Engineer Information: (If same as applicant, complete only first three lines)

Name of Lead Consultant: Steven E. Speaks, P.E., P.L.S.

Name of Consulting Firm: Larry E. Speaks & Associates, Inc.

Professional Trade Affiliation: [  ] Engineer [  ] Surveyor [  ] Architect

Mailing Address: 535 Herron Street, Montgomery, Alabama 36104

Business Hours Telephone #: ( 334 ) 262-1091

Fax # (If available): \_\_\_\_\_

Email address: sspeaks@lespeaks.com

Property Summary Information:

Owner(s) of Record: Russell Lands, Inc.

Street Address of Subject Property: Wicker Point Road, Mr. Ben Blvd., Adelia Lane, Dedie's Way

Is Subject Property Located Within the City Limits of Alexander City? [  ] Yes [  ] No

Tax Map & Lot Number of Subject Property: \_\_\_\_\_

Zoning Classification of Subject Property: SD-1

Size of Subject Property in Acres: 7.35 Acres

Size in Acres of Smallest Lot to be Created: 0.43 acres

Total Number of New Lots to be Created: 9 Lots

Is Subject Property Located Within 300 Feet of a City Water or Sewer Main?  
[x] Yes [ ] No

Uses to be Allowed in Subdivision: [x] Residential [ ] Industrial [ ] Commercial

Is Property Located Within a 100-Year Floodplain? [ ] Yes [x] No

Supporting Information:

Please submit the following items with the Subdivision Application form:

[x] Full payment of the required Application Fee.

[x] Six prints or copies of a preliminary plat of the proposed subdivision satisfying all requirements of Article V, Section 4.3 of the Alexander City Subdivision Regulations.

[x] A listing of the names and mailing addresses of all owners of land immediately adjoining the proposed subdivision property as their names may appear upon the plats contained in the County Tax Assessor's office and as their addresses appear in the directory of the municipality or on the tax records of the municipality or county.

[ ] A complete list of all local, state, and federal permits or approvals that have been applied for or secured by the applicant for the proposed subdivision as of the date of filing of this application.

Certifications:

Applicant:

I hereby certify and attest that, to the best of my knowledge and abilities, the information provided in this application is true and accurate. Further, I agree to provide any additional information within my powers that may be required by the Enforcement Officer, City Engineer, or Planning Commission to determine the compliance of the proposed property construction or improvement activities with the Subdivision Regulations and Zoning Ordinance of the City of Alexander City.

7-28-2023

Date

*Stumpy Edwards*

Applicant's Signature

Property Owner:

I hereby certify and attest that, to the best of my knowledge and abilities, the information provided in this application is true and accurate. Further, I agree to provide any additional information within my powers that may be required by the Enforcement Officer, City Engineer, or Planning Commission to

**Appendices: Forms & Certificates**

determine the compliance of the proposed property construction or improvement activities with the Subdivision Regulations and Zoning Ordinance of the City of Alexander City.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Signature



----- FOR CITY OF ALEXANDER CITY USE ONLY -----

Enforcement Officer's Information:

Date Filed: \_\_\_\_\_

Received By: \_\_\_\_\_

Application Fee Received: \$\_\_\_\_\_ [  ] Cash [  ] Check # \_\_\_\_\_

Date Reviewed and Deemed Complete: \_\_\_\_\_

Enforcement Officer's Signature: \_\_\_\_\_

Public Hearing Date: \_\_\_\_\_

Date Public Hearing was Closed (if Different from Above): \_\_\_\_\_

Planning Commission Action on Preliminary Plat: [  ] Approved [  ] Denied

Date of Final Action by Planning Commission: \_\_\_\_\_

Planning Commission Findings and/or Special Conditions of Approval: \_\_\_\_\_

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Planning Commission Chair's Signature: \_\_\_\_\_

DATE	INVOICE NO.	COMMENT	AMOUNT	NET AMOUNT
07/28/2023		Job# 18109-C Plat approval A		500.00
<b>DATE</b> 07/28/23			<b>TOTAL</b>	500.00
<b>VENDOR</b> City of Alexander City				

**LARRY E. SPEAKS  
& ASSOCIATES, INC.**  
CONSULTING ENGINEERS & LAND SURVEYORS  
535 HERRON ST. (334) 262-1091  
MONTGOMERY, AL 36104

RIVER BANK & TRUST  
2611 LEGENDS DR  
PRATTVILLE, AL 36066  
61-656/622

21409

**PAY Five Hundred and no/100**

DATE	CHECK	CHECK AMOUNT
07/28/23	21409	\$500.00

TO THE ORDER OF  
**CITY OF ALEXANDER CITY  
P.O. BOX 552  
ALEXANDER CITY AL 35011**

  
AUTHORIZED SIGNATURE

Security features included. Details on back

⑈021409⑈ ⑆062206567⑆ 0200224160⑈

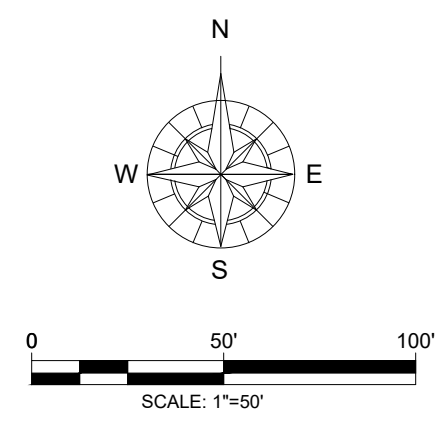
**Wicker Point- Heritage Golf residential Plat No. 1  
Adjacent Land Owners**

Russell Lands Inc.  
2544 Willow Point Road  
Alexander City, AL 35010

**UTILITY LIST FOR WICKER POINT HERITAGE GOLF RESIDENTIAL PLAT NO. 1****CITY OF ALEXANDER CITY**

<b>POWER</b>	Alabama Power Company P.O. Box 216 Dadeville, AL 36853	Mr. Jody Allen	256/825-8817	256/825-4649
<b>WATER</b>	Alexander City Water Dept. 281 James D. Nabors Drive Alexander City, AL 35011	Mr. David Hogan	256/409-2030	
<b>SEWER</b>	Alexander City Sewer Dept. 281 James D. Nabors Drive Alexander City, AL 35011	Mr. Lynn Miller	256-409-2031	
<b>PHONE/CABLE</b>	AT & T		855-732-3111	
<b>CABLE</b>	Charter/Spectrum	Mr. Stacy Nix	(334) 274-4880	
<b>TALLAPOOSA COUNTY ENGINEER</b>	Tallapoosa County Engineering Office 20121 Hwy 280 Dadeville, AL 36853	Mr. Joseph Moncrief	(256) 825-1062 (256) 749-6668	
<b>ALEXANDER CITY ENGINEER</b>	Tallapoosa City Engineering Office Public Works Dept. 824 Railey Road Alexander City, AL 35011	Mr. Drew Meacham	(256) 409-2020	
<b>HEALTH DEPT.</b>	Tallapoosa County Health Dept. 2078 Sportsplex Blvd Alexander City, AL 35010	Mrs. Amy Baker	256/329-5116	256/329-1670





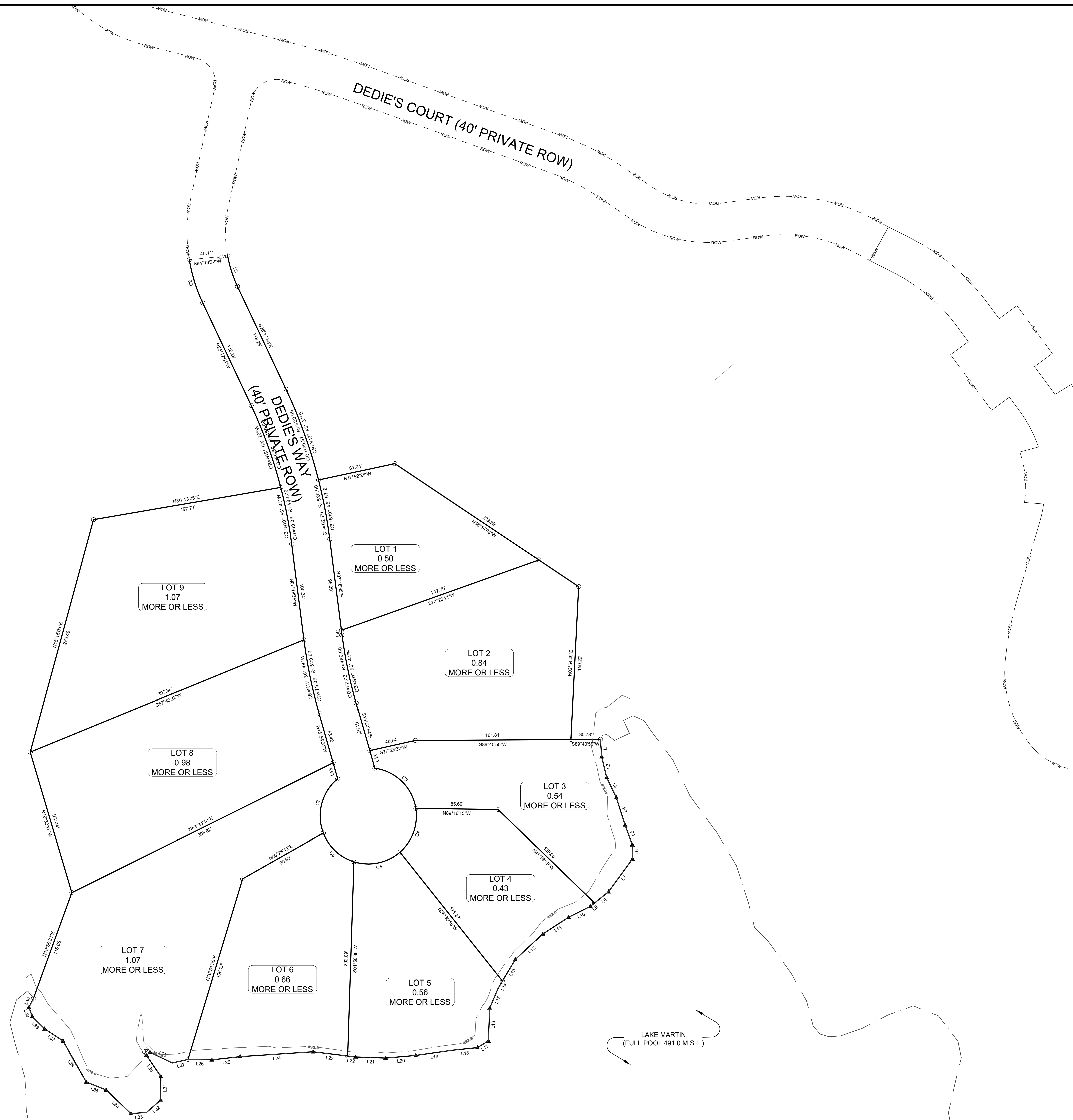
### LEGEND

- FOUND IRON PIN (5/8" REBAR CAPPED) W/# CA-00017-LS UNLESS NOTED OTHERWISE
- ▲ CALCULATED POINT
- SET IRON PIN (5/8" REBAR CAPPED) W/# CA-00017-LS

---492.9'--- 492.9 CONTOUR LINE

LINE NO.	BEARING	DISTANCE
L1	S04° 06' 53"E	18.05'
L2	S13° 26' 09"E	22.25'
L3	S25° 45' 43"E	23.06'
L4	S17° 50' 57"E	29.99'
L5	S19° 57' 57"E	21.86'
L6	S01° 08' 50"E	14.72'
L7	S36° 09' 56"W	42.36'
L8	S51° 13' 23"W	18.69'
L9	S51° 13' 23"W	5.57'
L10	S63° 23' 33"W	25.43'
L11	S57° 01' 20"W	31.96'
L12	S46° 53' 50"W	38.81'
L13	S31° 00' 50"W	26.12'
L14	S31° 00' 50"W	8.76'
L15	S23° 03' 44"W	22.23'
L16	S02° 25' 00"W	34.31'
L17	S58° 34' 38"W	13.34'
L18	S84° 06' 34"W	26.62'
L19	S81° 48' 35"W	38.12'
L20	S84° 56' 57"W	31.40'
L21	N87° 52' 27"W	31.40'
L22	N83° 00' 45"W	8.08'
L23	N83° 00' 45"W	36.42'
L24	S86° 11' 32"W	75.91'
L25	S83° 27' 26"W	29.81'
L26	N88° 52' 11"W	24.84'
L27	S76° 57' 15"W	16.52'
L28	N64° 12' 04"W	25.79'
L29	S47° 56' 40"W	4.94'
L30	S34° 22' 56"E	26.61'
L31	S00° 23' 41"W	24.52'
L32	S48° 50' 36"W	19.62'
L33	S85° 41' 50"W	16.36'
L34	N46° 13' 38"W	35.62'
L35	N68° 22' 21"W	22.33'
L36	N29° 26' 55"W	49.18'
L37	N56° 43' 37"W	22.95'
L38	N45° 12' 48"W	18.04'
L39	N20° 04' 29"W	10.34'
L40	N26° 53' 00"E	10.58'
L41	S07° 18' 35"E	4.95'
L42	S15° 54' 54"E	19.06'
L43	N15° 54' 54"W	17.34'

CURVE NO.	CHORD BEARING	CHORD DISTANCE	RADIUS
C1	S17° 57' 53"E	33.19'	130.00'
C2	N17° 23' 34"W	46.76'	170.00'
C3	S45° 36' 30"E	59.80'	50.00'
C4	S19° 59' 25"W	48.28'	50.00'
C5	S78° 04' 34"W	48.81'	50.00'
C6	N46° 47' 03"W	43.72'	50.00'
C7	N14° 49' 24"E	58.33'	50.00'



LARRY E SPEARS & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 LAND SURVEYORS  
 534 HERMON STREET  
 MONTGOMERY, AL 36104  
 TEL: (334) 882-1091

WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA

No.	DATE	DESCRIPTION

Project No.:	18109A
Dwg Name:	C1 - PREPLAT.DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**PRELIMINARY PLAT**

SHEET  
**C1.0**



STATE OF ALABAMA  
TALLAPOOSA COUNTY

I, Steven E. Speaks, a Registered Professional Engineer and Land Surveyor of Tallapoosa County, Alabama, hereby certify that I have surveyed the property of The Heritage at Lake Martin LLC, as owner, of Heritage Golf Residential Plat No. 1, located in Tallapoosa County, Alabama, and being more particularly described as follows:

STATE OF ALABAMA  
COUNTY OF TALLAPOOSA

(Insert Legal)

And that the plat or map contained hereon is a true and correct map showing the subdivision into which the property is divided giving the length and bearings of the boundaries of each lot and its number and showing the streets, alleys and public grounds and giving the bearings, length, width and name of the streets, said map further shows the relation to the land so platted to the Government Survey, and that permanent monuments have been placed at point marked thus (o) as hereon shown, and I further certify that all parts of this survey and plat have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

WITNESS my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Steven E. Speaks, P.E., P.L.S.  
Alabama Registration No. 20897

DEDICATION AND SUBJECT OF LANDS TO PROVISIONS OF THE COMMUNITY CHARTER OF THE HERITAGE:

The Heritage at Lake Martin LLC, has caused the lands embraced within the Plat to be surveyed, laid out and platted to be known as The Heritage Golf Residential Plat No. 1, a development by The Heritage at Lake Martin LLC, a subdivision located in part of the SE 1/4 of Section 13, Township 21 North, Range 21 East, and the SW 1/4 of the SW 1/4 of Section 18, Township 21 North, Range 22 East, Tallapoosa County, Alabama, and subjected to the provisions of the Community Charter for The Heritage (i.e. Covenants, Conditions and Restrictions), as recorded in Document Number 365211, Pages 1 - 117; the Covenant for the Russell Forest Preservation Organization, Inc., as recorded in Document Number 252919, Pages 1-52; the Amendment to the Covenant for Russell Forest Preservation Organization, Inc., as recorded in Document Number 293621, Pages 1-3; and the Articles of Incorporation of The Heritage Property Owners Association, Inc., as recorded in Document Number 365287, Pages 1-5, all as recorded in the Office of the Judge of Probate of Tallapoosa County, Alabama

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

THE HERITAGE AT LAKE MARTIN LLC

By: \_\_\_\_\_  
Thomas T. Lamberth  
Chief Executive Officer of Russell Lands, Incorporated,  
Manager of The Heritage at Lake Martin LLC

ACKNOWLEDGMENT:

STATE OF ALABAMA  
TALLAPOOSA COUNTY

I, the undersigned authority, a Notary Public in and for said County, in said State, hereby certify that Thomas T. Lamberth, whose name as Chief Executive Officer of Russell Lands, Incorporated, an Alabama Corporation, Manager of The Heritage of Lake Martin LLC, is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of said instrument, he, as such officer and with full authority, executed the same voluntarily for an as the act of said company.

Given under my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Notary Public  
My commission expires: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY THE WATER DEPARTMENT:

The undersigned, as authorized by the Water Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Water Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE SEWER DEPARTMENT:

The undersigned, as authorized by the Sewer Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Sewer Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE GAS DEPARTMENT:

The undersigned, as authorized by the Gas Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Gas Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE ALEXANDER CITY LIGHT DEPARTMENT:

The undersigned, as authorized by the Alexander City Light Department, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Alexander City Light Department

CERTIFICATE OF APPROVAL BY THE ALABAMA POWER COMPANY:

The undersigned, as authorized by the Alabama Power Company, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Alabama Power Company

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY HEALTH DEPARTMENT:

The Health Department signature is for recording purposes and signifies that the Department is aware of this development and sees no obvious impediments to the planned central sewer system serving the lots as it was presented.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Health Officer  
Tallapoosa County, Alabama

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY E-911 BOARD:

The undersigned, as authorized by the E-911 Board of Tallapoosa County, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Chairman or Coordinator, 911 Board

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER FOR STORM DRAINAGE SYSTEM:

The undersigned, as duly appointed City Engineer of the City of Alexander City, Alabama, concur on the design of the storm drainage system as depicted on this plat.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
City Engineer  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER:

The undersigned, as duly appointed City Engineer of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
City Engineer  
City of Alexander City, Alabama

APPROVAL BY THE ALEXANDER CITY PLANNING COMMISSION:

I hereby certify that this plat for The Heritage at Lake Martin LLC, has been found to comply with the Subdivision Regulations for Alexander City, Alabama, with the exception of such variances and special conditions, if any, as noted in the minutes of the Planning Commission, and that it has been approved in the Office of the Probate Judge of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Chairman, Planning Commission

\_\_\_\_\_  
Secretary

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY ENGINEER:

The undersigned, as the County Engineer of Tallapoosa County, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
County Engineer

OFFICE OF THE JUDGE OF PROBATE:

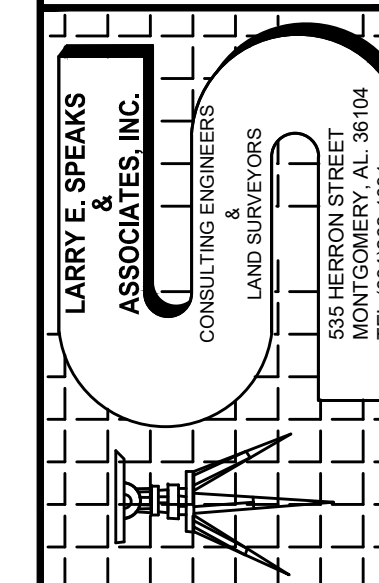
STATE OF ALABAMA  
TALLAPOOSA COUNTY

I hereby certify that this Plat or Map was filed in this Office for record this \_\_\_\_\_ day of \_\_\_\_\_, 2023, at \_\_\_\_\_ AM/PM, and recorded in Book \_\_\_\_\_ of Plats and Maps, Page \_\_\_\_\_ Recording \_\_\_\_\_ paid.

\_\_\_\_\_  
Judge of Probate  
Tallapoosa County

GENERAL NOTES:

- ALL DRAINAGE EASEMENTS AS SHOWN ON THIS PLAT ARE TO BE MAINTAINED BY THE OWNER OR OWNERS OF THE LOT OR LOTS UPON WHICH SUCH DRAINAGE EASEMENT IS LOCATED. FAILURE TO MAINTAIN AREA AS CONSTRUCTED AND INTENDED, MAY RESULT IN UPSTREAM FLOODING AND COULD RESULT IN A CIVIL LIABILITY.
- WITHOUT RELIEVING ANY OTHER LEGALLY RESPONSIBLE PARTIES, EACH LOT OWNER IS RESPONSIBLE FOR INSTITUTING ANY REQUIRED EROSION CONTROL MEASURES DURING THE CONSTRUCTION OF ANY IMPROVEMENTS ON THE LOT.
- IT IS A REQUIREMENT OF THIS PLAT THAT THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO SIDEWALKS, VALLEY GUTTER, OR CURB LOCATED ADJACENT TO THE OWNER'S LOT WHICH IS CAUSED BY CONTRACTORS WORKING ON THE OWNER'S LOT.
- IN THE EVENT TWO OR MORE ADJACENT LOTS ARE PURCHASED BY THE SAME PERSON AND CONSTRUCTION CROSSES OVER A LOT LINE, THE UTILITY EASEMENT ON SAID LOT LINE SHALL BE VACATED, PROVIDED THE OWNER OF THE LOTS MAKES ARRANGEMENTS WITH THE OWNER OF ANY UTILITIES IN PLACE TO REMOVE AND/OR RELOCATE SAID UTILITIES. IN ADDITION, THE LOT OWNER IS REQUIRED TO FOLLOW THE CITY ADMINISTRATIVE PLAT PROCEDURE TO CONSOLIDATE LOTS.
- THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES, AND THE CITY OF ALEXANDER CITY, ALABAMA, IN OPERATION OF THE SEWER AND WATER SYSTEMS SERVICING THE HERITAGE ARE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN SEWER LINES, WATER LINES, PUMPING STATIONS, LIFT STATIONS, LATERALS AND OTHER SEWER AND WATER EQUIPMENT AND APPLIANCES IN THE HERITAGE ROADWAYS AND WITHIN THE DRAINAGE AND UTILITY EASEMENTS SHOWN ON SUBJECT PLAT, AS WELL AS THE RIGHT TO INSTALL SERVICE LATERALS, RUNNING FROM SAID UTILITY EASEMENT TO THE DWELLINGS OR BUILDINGS CONSTRUCTED ON LOTS WITHIN SUBJECT PLAT; TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVENIENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF, AND ALSO, THE RIGHT TO CUT AND KEEP CLEAN ALL TREES, UNDERBRUSH, SHRUBBERY, ROOTS AND OTHER GROWTH AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES.
- THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES, AT&T TELECOMMUNICATIONS COMPANY AND ALL OTHER UTILITIES, INCLUDING CABLE PROVIDERS, SHALL, WITH THE PRIOR WRITTEN CONSENT OF THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES, BE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN THEIR FACILITIES INCLUDING ALL CONDUITS, CABLES, TRANSCLOSURES, PIPE AND OTHER APPLIANCES USEFUL OR NECESSARY IN CONNECTION THEREWITH, WITHIN A TEN (10) FOOT EASEMENT ALONG THAT PORTION OF EACH LOT ABUTTING A HERITAGE ROADWAY, OR AS DESCRIBED ON THE PLAT, AND ANY OTHER UTILITY EASEMENT SHOWN, TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVENIENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF, AND ALSO, THE RIGHT TO CUT AND KEEP CLEAN ALL TREES, UNDERBRUSH, SHRUBBERY, ROOTS AND OTHER GROWTH AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES.
- AN EASEMENT IS GRANTED TO THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES OVER AND ACROSS THE HERITAGE ROADWAYS AND THE ADJACENT AREA SHOWN AS UTILITY EASEMENTS; ALL FOR INSTALLATION, MAINTENANCE, REPAIRS AND IMPROVEMENTS TO WATER AND SEWER SYSTEMS SERVICING THE HERITAGE.
- BEARINGS AND DISTANCES SHOWN AROUND THE WATER ARE INTENDED TO REPRESENT THE 491' M.S.L. CONTOUR OF LAKE MARTIN (FULL POOL ELEVATION). THESE BEARINGS AND DISTANCES ARE FOR DETERMINING ACREAGE OF LOTS. IT IS INTENDED THAT ALL LOTS EXTEND TO THE 491' M.S.L. CONTOUR (FULL POOL ELEVATION) AND NOT EXACTLY TO THE POINTS SHOWN BY THE BEARINGS AND DISTANCES.
- THERE IS HEREBY GRANTED A 10' MINIMUM BLANKET UTILITY EASEMENT FOR ALL UTILITIES IN THIS SUBDIVISION ALONG EACH SIDE LOT LINE, 5' EACH SIDE FOR A TOTAL OF 10', UNLESS NOTED OTHERWISE ON THE PLAT.
- ACCORDING TO A LETTER DATED MAY 6, 2009, FROM THE ALABAMA POWER COMPANY THE HIGHEST RECORDED POOL ELEVATION MEASURED AT MARTIN DAM SINCE 1940 IS 491.90' M.S.L. THE COUNTY SUBDIVISION REGULATIONS REQUIRE THAT ALL STRUCTURES BE BUILT A MINIMUM 1.00' ABOVE THE HIGHEST RECORDED POOL ELEVATION (492.90' M.S.L.) THE APPROXIMATE LOCATION OF THE ABOVE DESCRIBED 492.90' M.S.L. LINE IS SHOWN ON THE PLAT FOR REFERENCE. LOT OWNERS MUST COMPLY WITH BUILDING SET BACK REQUIREMENTS CONTAINED IN THE CHARTER OR DESIGN GUIDELINES.
- THIS IS A PRIVATELY MAINTAINED SUBDIVISION.
- THE HERITAGE PROPERTY OWNERS ASSOCIATION, INC. IS FULLY RESPONSIBLE FOR THE REPAIR AND MAINTENANCE OF THE ROADS AND DRAINAGE THROUGHOUT THE SUBDIVISION. THE CITY OF ALEXANDER CITY IS NOT RESPONSIBLE FOR ANY MAINTENANCE OF ROADS, COMMON AREAS, RIGHT OF WAY MAINTENANCE, AND DRAINAGE.
- ALL THE PROPERTY INCLUDED WITHIN THIS PLAT IS SUBJECT TO THE COMMUNITY CHARTER FOR THE HERITAGE, (I.E. COVENANTS, CONDITIONS AND RESTRICTIONS), AS RECORDED IN DOCUMENT NUMBER 365211, THE COVENANT FOR RUSSELL FOREST PRESERVATION ORGANIZATION, INC., AS RECORDED IN DOCUMENT NUMBER 252919, PAGES 1-52; THE AMENDMENT TO THE COVENANT FOR RUSSELL FOREST PRESERVATION ORGANIZATION, INC., AS RECORDED IN DOCUMENT NUMBER 293621, PAGES 1-3; AND THE ARTICLES OF INCORPORATION OF THE HERITAGE PROPERTY OWNERS ASSOCIATION, INC. AS RECORDED IN DOCUMENT NUMBER 365287, PAGES 1-5, ALL IN THE OFFICE OF THE JUDGE OF PROBATE, TALLAPOOSA COUNTY, ALABAMA.
- ALABAMA POWER COMPANY IS GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN ITS FACILITIES, INCLUDING ALL CONDUITS, CABLES, TRANSCLOSURES AND OTHER APPLIANCES USEFUL OR NECESSARY IN CONNECTION THEREWITH, WITHIN A TEN (10) FOOT EASEMENT ALONG THAT PORTION OF EACH LOT ABUTTING A DEDICATED STREET, AND ANY OTHER UTILITY EASEMENT SHOWN, FOR THE UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRIC POWER, TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVENIENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF; AND ALSO, THE RIGHT TO CUT AND KEEP CLEAR ALL TREES, UNDERBRUSH, SHRUBBERY, ROOTS AND OTHER GROWTH, AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES. ALSO INCLUDED IN THE RIGHTS GRANTED HEREIN IS THE RIGHT TO INSTALL SERVICE LATERALS RUNNING FROM SAID 10 FOOT WIDE EASEMENT TO THE DWELLINGS OR BUILDINGS CONSTRUCTED ON THE LOTS WITHIN THIS PLAT.
- ALL PARKS, EXPANSION AREAS, COMMON AREAS AND COMMON LAKE ACCESS POINTS, IF ANY, WILL NOT BE MAINTAINED BY THE COUNTY OR CITY OF ALEXANDER CITY.
- THE LOT OWNER IS RESPONSIBLE FOR THE DRIVEWAY PIPE AS DICTATED BY HYDROLOGY.
- IT IS A REQUIREMENT OF THIS PLAT THAT ANY RIGHT-OF-WAY MAINTENANCE IS THE RESPONSIBILITY OF THE HERITAGE OWNER'S ASSOCIATION. EXCEPT FOR ANY DAMAGE CAUSED BY THE CITY OF ALEXANDER CITY IN MAINTAINING UTILITIES.
- SITE DATA:  
TOTAL TRACT ACREAGE: 7.35 ACRES  
SMALLEST LOT SIZE: 43 ACRES  
TOTAL NUMBER OF LOTS: 9 LOTS  
LINEAR FOOTAGE OF STREETS: 698 LF



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

REVISIONS		DATE	DESCRIPTION
No.			

Project No.:	18109A
Dwg Name:	C1 - PREPLAT DWG
Drawn By:	AMK
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**PRELIMINARY  
PLAT**

SHEET

**C1.1**



# CONSTRUCTION PLANS FOR WICKER POINT GOLF COURSE HERITAGE GOLF RESIDENTIAL PLAT NO. 1 ALEXANDER CITY, ALABAMA

REVISIONS

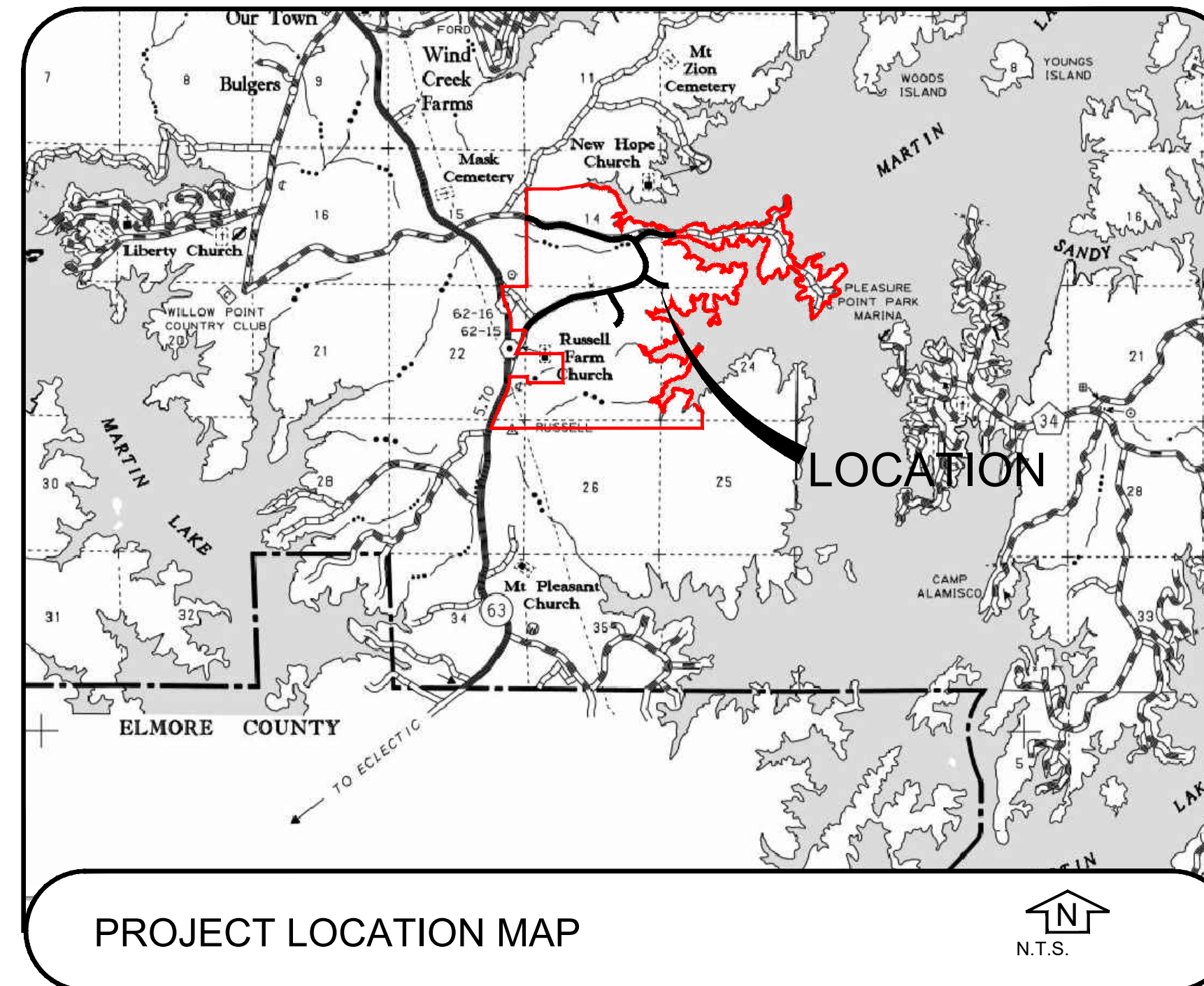
Project: HERITAGE GOLF RESIDENTIAL PLAT NO. 1

Project No.: 18109A

Date: JULY 2023

## INDEX OF SHEETS

- C0.1 COVER
- C0.2 TYPICAL SECTION AND GENERAL NOTES
- C0.3 EXISTING CONDITIONS
- C0.4 MASTER PLAN SKETCH
- C1.0-1.1 PRELIMINARY PLAT
- C2.1 SITE PLAN
- C3.1 GRADING AND DRAINAGE PLAN
- C3.2 EROSION CONTROL PLAN
- C3.3-3.4 EROSION CONTROL DETAILS
- C3.5 STORM DRAIN PROFILES
- C4.1-4.2 ROADWAY PLAN / PROFILES
- C5.1 UTILITY PLAN
- C6.1 MISCELLANEOUS DETAILS
- C6.2 LOW-PRESSURE SEWER DETAILS
- C6.3 WINGED INLET DETAILS
- C7.1 ROADWAY CROSS SECTIONS



## DEVELOPER:

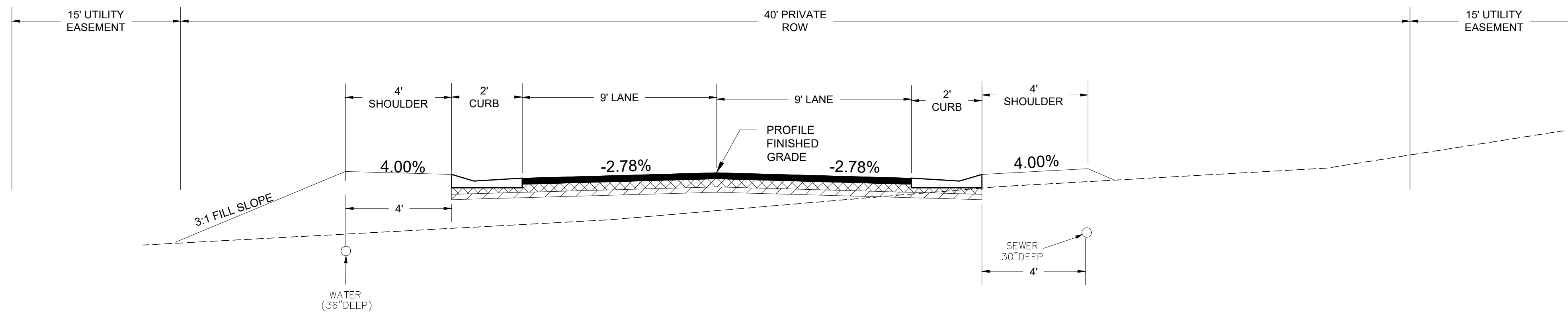
RUSSELL LANDS DEVELOPMENT LLC  
MR. TOM LAMBERTH  
2544 WILLOW POINT ROAD  
ALEXANDER CITY, AL 35010  
PHONE: (256) 329-0835

## CONTACT:

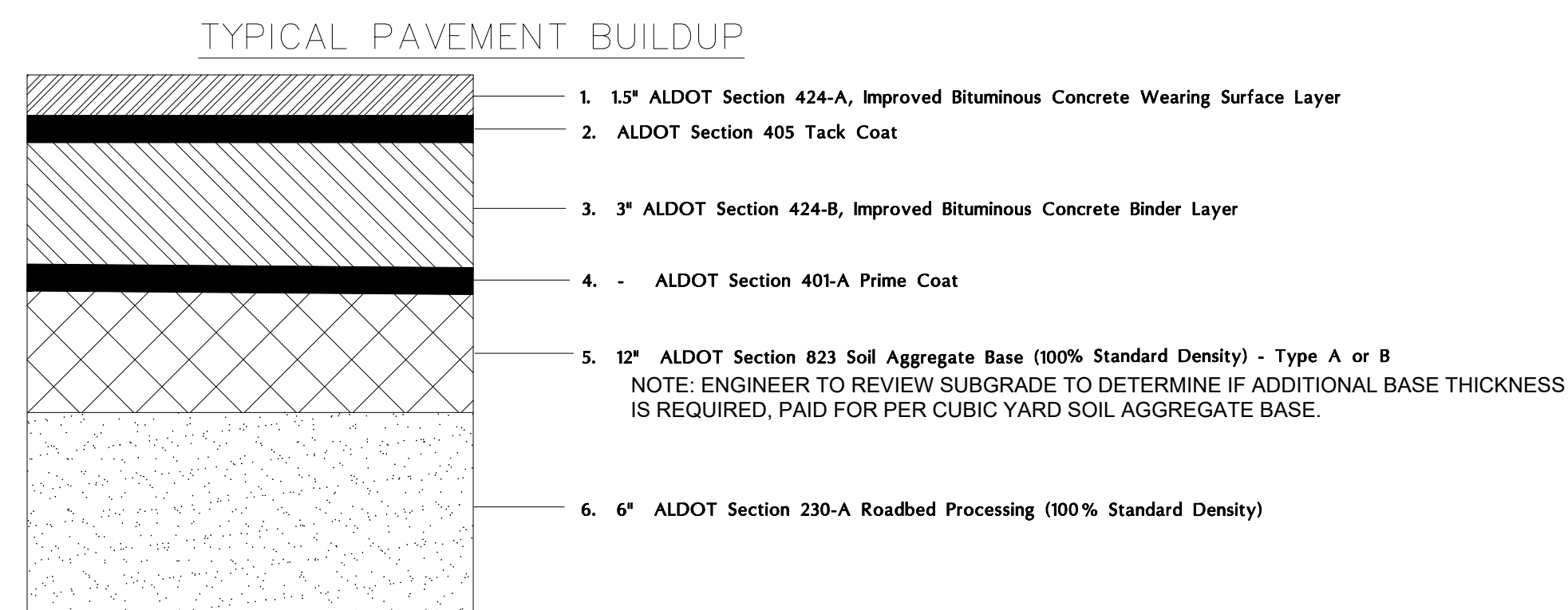
MR. CHAD CALHOUN  
PHONE: (256) 397-1003 (office)  
(256) 675-6011 (cell)

**PREPARED BY:**  
**LARRY E. SPEAKS & ASSOCIATES, INC.**  
Consulting Engineers & Land Surveyors  
535 Herron St.  
Montgomery, Alabama 36104  
Phone: 262-1091

**JULY 2023**

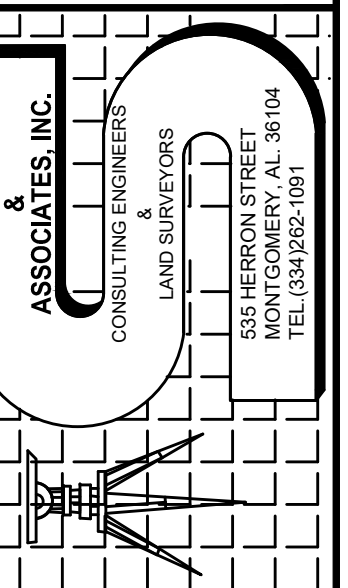


TYPICAL SECTION



GENERAL NOTES

- Subgrade compaction shall conform to current Alabama Department of Transportation Specifications (Section 306.03). The upper six (6) inches shall be scarified and compacted to not less than 100% of Proctor Density (AASHTO T-99) at  $\pm$  2% Optimum Moisture. Compaction test shall be conducted one per each 500 feet of roadway in both cuts and fills or as directed by the Engineer. A Proctor Density and Optimum Moisture test shall be conducted at each material change and shall not exceed 2000 feet between test.
- Base Course compaction shall conform to current Alabama Department of Transportation Specifications and shall be compacted to not less than 100% of Proctor Density (AASHTO T-180) at  $\pm$  2% Optimum Moisture. A soils analysis shall be required at a minimum of one per each 500 feet of roadway. A Proctor Density and Optimum Moisture shall be required one per each 2000 feet of roadway. One compaction test shall be required each 250 feet of roadway.
- Fill slope embankment compaction shall conform to current Alabama Department of Transportation Specifications and shall be compacted to not less than 98% of Proctor Density (AASHTO T-180) at  $\pm$  2% Optimum Moisture. Fill shall be constructed in maximum of 8" lifts with a compaction test required on each lift prior to construction of the next.
- Base course quality shall meet Alabama Department of Transportation Specifications (2018) for Soil Aggregate Base.
- Base course shall not be placed on subgrade until the Engineer has been furnished the compaction reports on subgrade and approved proof rolling of subgrade.
- Pavement shall be per square yard of asphalt plant mix conforming to ALDOT Specifications, Sec. 424-A dated 2018. Paving shall be placed on primed surface, prime being from curb to curb or 6 inches wider than plant mix on each side of pavement if curb is not used.
- Prime and pavement shall not be placed on base course until compaction test and soil test on completed base course have been made and reports furnished to the Project Engineer and the Engineer has inspected the complete base course and approved proof rolling.
- All roadway and surface drainage ditches with 6% or greater grades shall have Erosion Control Materials added to the surfaces. Ditches with lesser grades may require paving at the instruction of the Project Engineer.
- Specifications for roadway pipe: the Engineer shall be furnished a manufacturer's certificate stating that the pipe does meet the ALDOT Specifications.
- All side drain pipe shall meet current Alabama Department of Transportation Specifications for side drain pipe. The Engineer shall be furnished a manufacturer's certificate stating that the pipe does meet the specifications of the Alabama department of Transportation. All side drain pipe sizes as indicated shall be installed as instructed by the Engineer, with a minimum size of 15" diameter.
- All disturbed areas shall be dressed, top soiled and seeded (Urban Mix) according to ALDOT Specifications, Section 652. It shall be the responsibility of the Contractor to establish and maintain a satisfactory stand of grass. A satisfactory stand of grass shall be in place before the subdivision is accepted by the City of Alexander City or bond shall be posted guaranteeing a stand of grass.
- All cul-de-sacs shall have a minimum of 40 foot radius.
- The Developer shall employ and pay a reputable soil testing laboratory for soils tests on roadway as required by the Engineer.
- All street signs shall be constructed and positioned according to the current Manual of Uniform Traffic Control Devices and the Alabama Department of Transportation Standard Specifications, 2001 Edition. The Developer shall pay for all signs and work related to placement of these signs.
- Prior to beginning construction, it will be the Contractor's responsibility to have all utility lines located. Any utility lines damaged by the Contractor during construction shall be repaired by the Contractor at the Contractor's expense. (Alabama Lines Location Center PH. 1 800 292 8525)
- The Contractor shall be responsible for furnishing, erecting, lighting and maintaining all construction signs (warning, regulatory and guide) barricades and other traffic control devices to comply with the Manual on Uniform Traffic Control Devices (MUTCD) during construction. The manual can be obtained from the Alabama Department of Transportation, Bureau of Maintenance, 1409 Coliseum Boulevard, Montgomery, Alabama 36130. The Contractor has the responsibility to continuously review and maintain traffic handling measures and insure himself that adequate provisions have been made for the safety of the public and his workmen.
- The contractor shall comply with all applicable employee safety and health regulations as set forth by the Occupational Safety and Health Administration (OSHA).
- All excavated trenches (storm, water and sanitary) shall be backfilled with the best of suitable materials removed from the trench. If none is suitable, the Contractor will be required to obtain sufficient Select Material from other locations. All backfill shall be placed in 6" lifts and compacted to not less than 95% of AASHTO T-99 density at 2%  $\pm$  optimum moisture. Any trench backfill that does not meet compaction shall be corrected at Contractor's expense. Testing will be at 100 linear feet per 2 ft. of thickness.
- The Contractor shall provide the Engineer with a two (2) year letter of credit guaranteeing all work prior to final acceptance of the project.
- All wooden sign posts shall be 4"x4" or, if larger, designed with a 4"x4" breakaway base support.
- Fire Department has the option to review the centerline road profile grades in the field prior to installation of base material.



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

REVISIONS

No.	DATE	DESCRIPTION

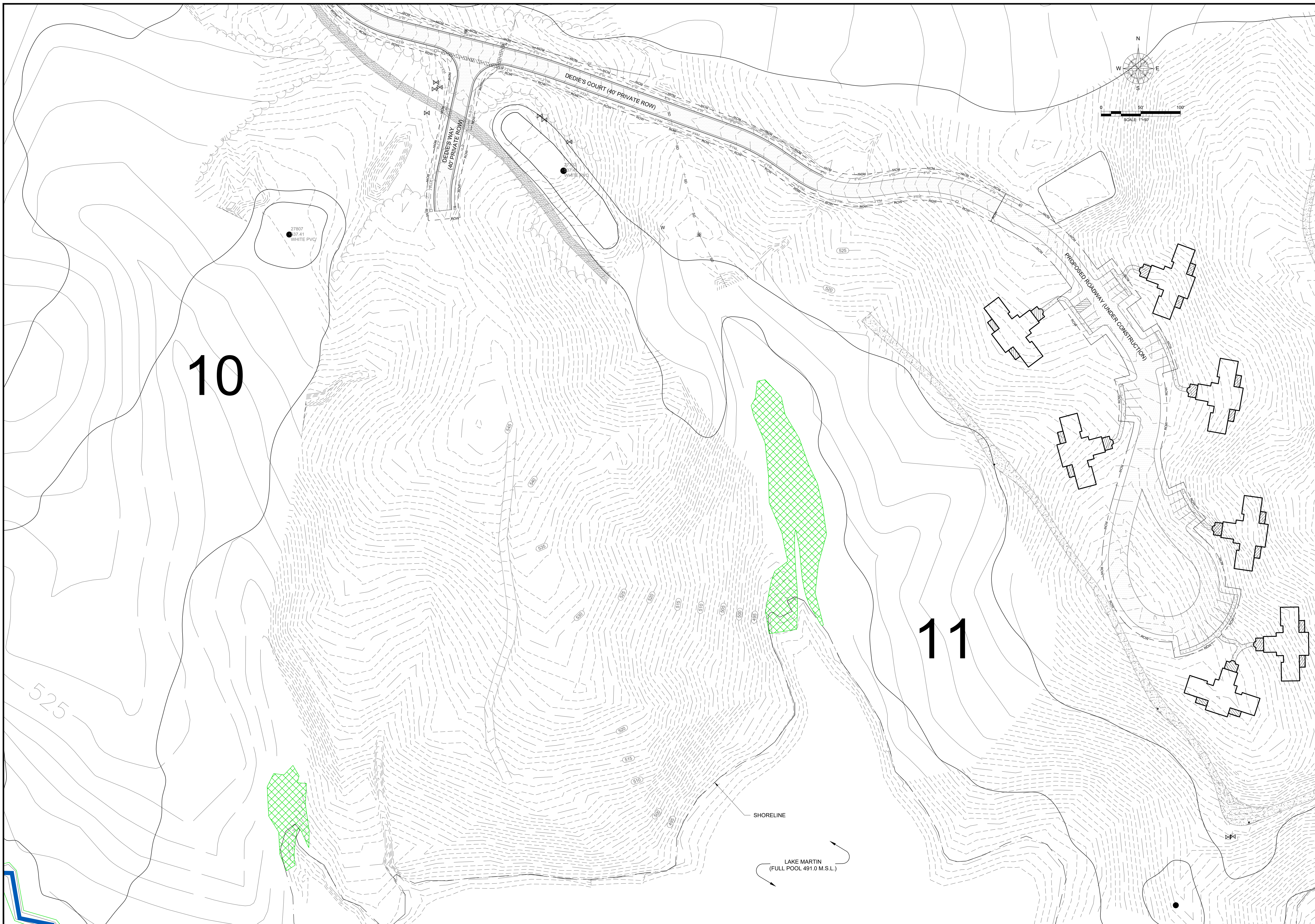
Project No.:	18109A
Dwg Name:	01-COVER-TYP-EX-COND.DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
TYPICAL SECTION  
& GENERAL NOTES

SHEET

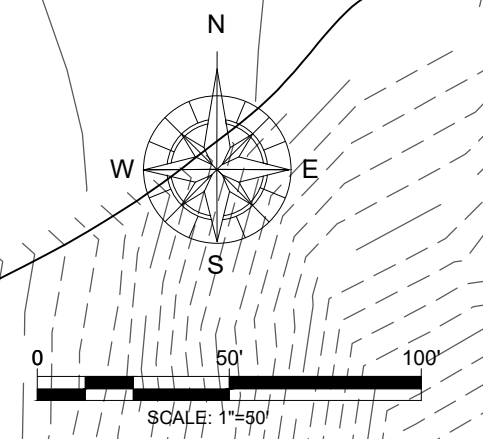
C0.2





10

11



**LARRY E. SPEAKS & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 LAND SURVEYORS  
 524 HERMON STREET  
 MONTGOMERY, AL 36104  
 TEL: (205) 882-1091

**WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA**

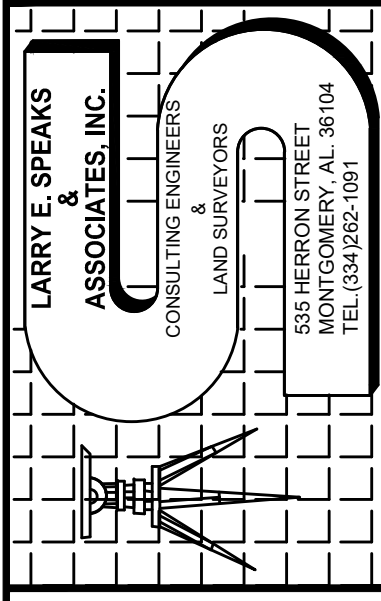
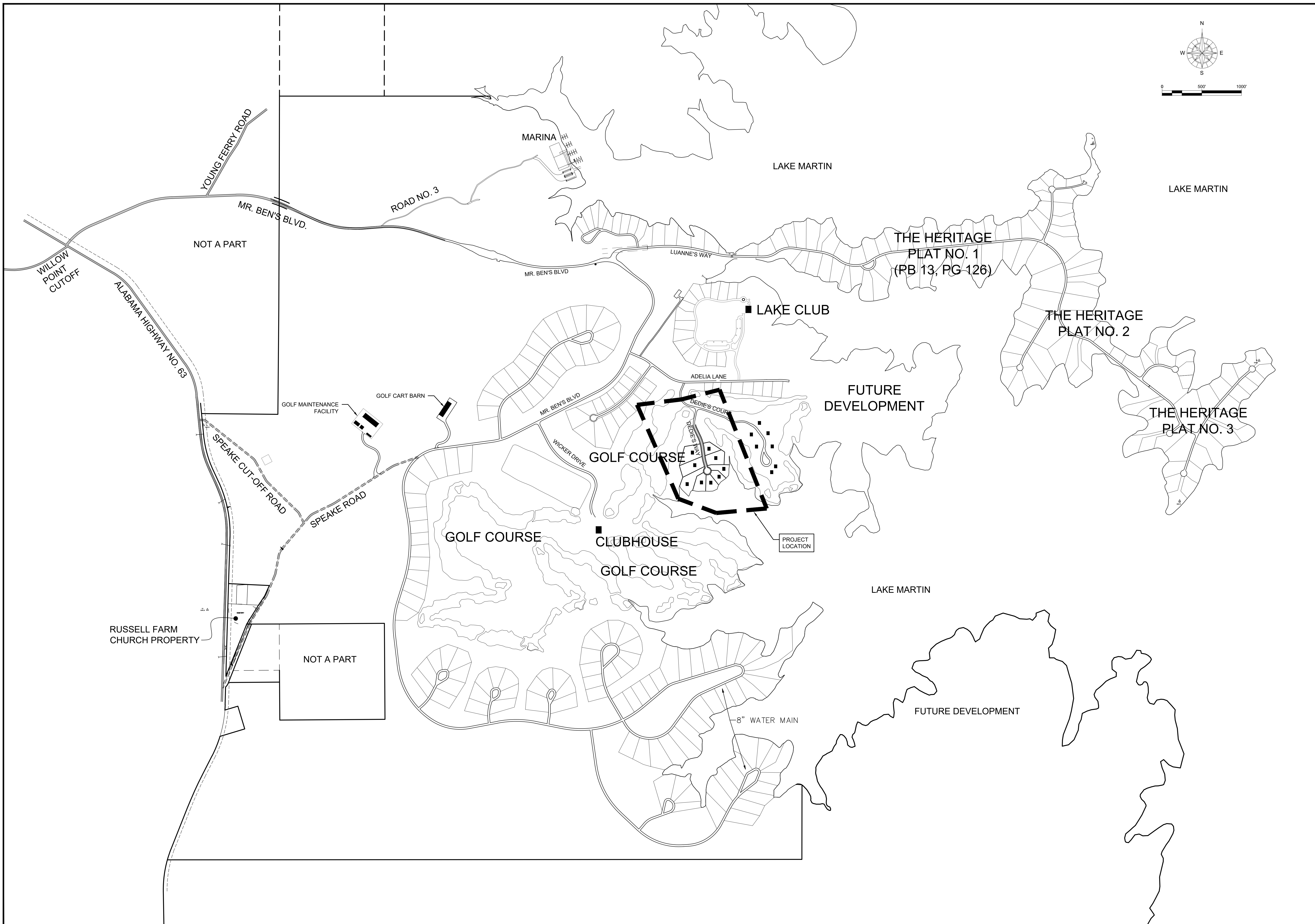
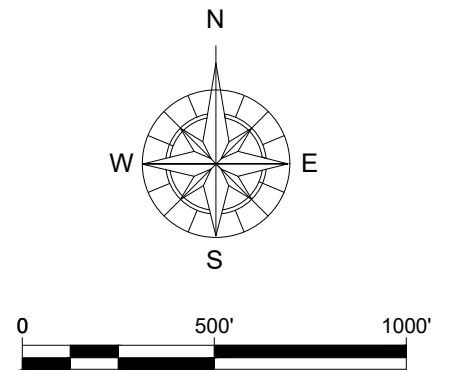
REVISIONS	No.	DATE	DESCRIPTION

Project No.:	18109A
Dwg Name:	C0-COVER-TYP-EX-COND.DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**EXISTING CONDITIONS**

SHEET  
**C0.3**





WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA

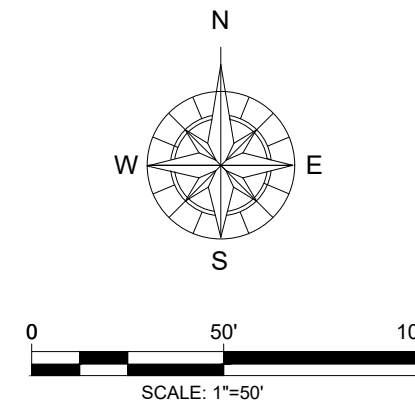
REVISIONS	
No.	DESCRIPTION

Project No.:	18109A
Dwg Name:	C0.4-MASTER PLAN DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**MASTER PLAN**

SHEET  
**C0.4**

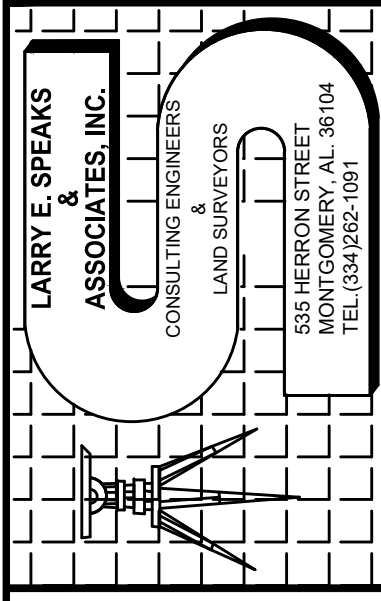
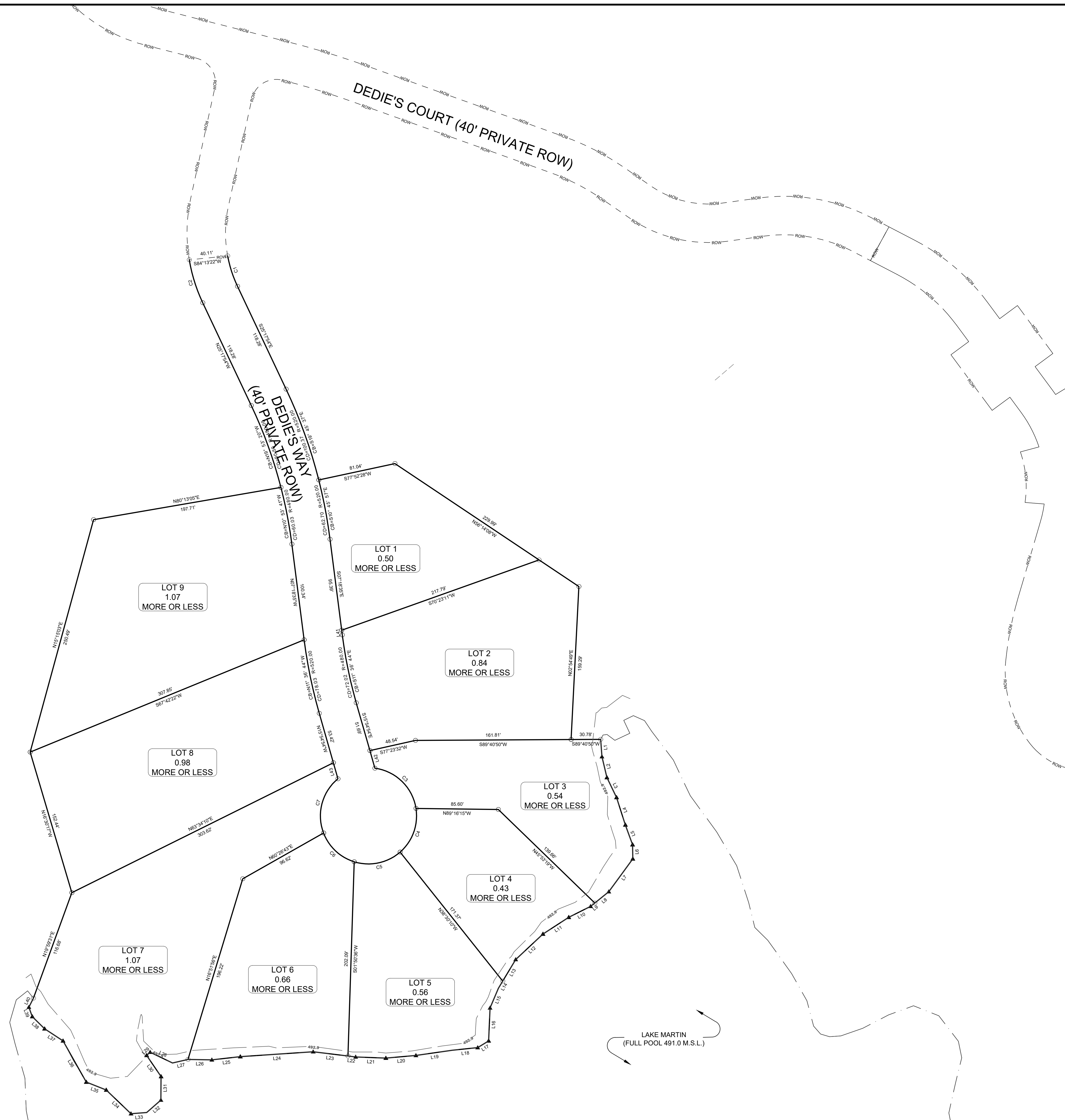




- LEGEND**
- FOUND IRON PIN (5/8\"/>

LINE NO.	BEARING	DISTANCE
L1	S04° 06' 53\"/>	
L2	S13° 26' 09\"/>	
L3	S25° 45' 43\"/>	
L4	S17° 50' 57\"/>	
L5	S19° 57' 57\"/>	
L6	S01° 08' 50\"/>	
L7	S36° 09' 56\"/>	
L8	S51° 13' 23\"/>	
L9	S51° 13' 23\"/>	
L10	S63° 23' 33\"/>	
L11	S57° 01' 20\"/>	
L12	S46° 53' 50\"/>	
L13	S31° 00' 50\"/>	
L14	S31° 00' 50\"/>	
L15	S23° 03' 44\"/>	
L16	S02° 25' 00\"/>	
L17	S58° 34' 38\"/>	
L18	S84° 06' 34\"/>	
L19	S81° 48' 35\"/>	
L20	S84° 56' 57\"/>	
L21	N87° 52' 27\"/>	
L22	N83° 00' 45\"/>	
L23	N83° 00' 45\"/>	
L24	S86° 11' 32\"/>	
L25	S83° 27' 26\"/>	
L26	N88° 52' 11\"/>	
L27	S76° 57' 15\"/>	
L28	N64° 12' 04\"/>	
L29	S47° 56' 40\"/>	
L30	S34° 22' 56\"/>	
L31	S00° 23' 41\"/>	
L32	S48° 50' 36\"/>	
L33	S85° 41' 50\"/>	
L34	N46° 13' 38\"/>	
L35	N68° 22' 21\"/>	
L36	N29° 26' 55\"/>	
L37	N56° 43' 37\"/>	
L38	N45° 12' 48\"/>	
L39	N20° 04' 29\"/>	
L40	N26° 53' 00\"/>	
L41	S07° 18' 35\"/>	
L42	S15° 54' 54\"/>	
L43	N15° 54' 54\"/>	

CURVE NO.	CHORD BEARING	CHORD DISTANCE	RADIUS
C1	S17° 57' 53\"/>		
C2	N17° 23' 34\"/>		
C3	S45° 36' 30\"/>		
C4	S19° 59' 25\"/>		
C5	S78° 04' 34\"/>		
C6	N46° 47' 03\"/>		
C7	N14° 49' 24\"/>		



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

REVISIONS	
No.	DESCRIPTION

Project No.:	18109A
Dwg Name:	C1 - PREPLAT.DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**PRELIMINARY PLAT**

SHEET  
**C1.0**

STATE OF ALABAMA  
TALLAPOOSA COUNTY

I, Steven E. Speaks, a Registered Professional Engineer and Land Surveyor of Tallapoosa County, Alabama, hereby certify that I have surveyed the property of The Heritage at Lake Martin LLC, as owner, of Heritage Golf Residential Plat No. 1, located in Tallapoosa County, Alabama, and being more particularly described as follows:

STATE OF ALABAMA  
COUNTY OF TALLAPOOSA

(Insert Legal)

And that the plat or map contained hereon is a true and correct map showing the subdivision into which the property is divided giving the length and bearings of the boundaries of each lot and its number and showing the streets, alleys and public grounds and giving the bearings, length, width and name of the streets, said map further shows the relation to the land so platted to the Government Survey, and that permanent monuments have been placed at point marked thus (o) as hereon shown, and I further certify that all parts of this survey and plat have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

WITNESS my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Steven E. Speaks, P.E., P.L.S.  
Alabama Registration No. 20897

DEDICATION AND SUBJECT OF LANDS TO PROVISIONS OF THE COMMUNITY CHARTER OF THE HERITAGE:

The Heritage at Lake Martin LLC, has caused the lands embraced within the Plat to be surveyed, laid out and platted to be known as The Heritage Golf Residential Plat No. 1, a development by The Heritage at Lake Martin LLC, a subdivision located in part of the SE 1/4 of Section 13, Township 21 North, Range 21 East, and the SW 1/4 of the SW 1/4 of Section 18, Township 21 North, Range 22 East, Tallapoosa County, Alabama, and subjected to the provisions of the Community Charter for The Heritage (i.e. Covenants, Conditions and Restrictions), as recorded in Document Number 365211, Pages 1 - 117; the Covenant for the Russell Forest Preservation Organization, Inc., as recorded in Document Number 252919, Pages 1-52; the Amendment to the Covenant for Russell Forest Preservation Organization, Inc., as recorded in Document Number 293621, Pages 1-3; and the Articles of Incorporation of The Heritage Property Owners Association, Inc., as recorded in Document Number 365287, Pages 1-5, all as recorded in the Office of the Judge of Probate of Tallapoosa County, Alabama

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

THE HERITAGE AT LAKE MARTIN LLC

By: \_\_\_\_\_  
Thomas T. Lamberth  
Chief Executive Officer of Russell Lands, Incorporated,  
Manager of The Heritage at Lake Martin LLC

ACKNOWLEDGMENT:

STATE OF ALABAMA  
TALLAPOOSA COUNTY

I, the undersigned authority, a Notary Public in and for said County, in said State, hereby certify that Thomas T. Lamberth, whose name as Chief Executive Officer of Russell Lands, Incorporated, an Alabama Corporation, Manager of The Heritage of Lake Martin LLC, is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of said instrument, he, as such officer and with full authority, executed the same voluntarily for an as the act of said company.

Given under my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Notary Public  
My commission expires: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY THE WATER DEPARTMENT:

The undersigned, as authorized by the Water Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Water Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE SEWER DEPARTMENT:

The undersigned, as authorized by the Sewer Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Sewer Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE GAS DEPARTMENT:

The undersigned, as authorized by the Gas Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Gas Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE ALEXANDER CITY LIGHT DEPARTMENT:

The undersigned, as authorized by the Alexander City Light Department, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Alexander City Light Department

CERTIFICATE OF APPROVAL BY THE ALABAMA POWER COMPANY:

The undersigned, as authorized by the Alabama Power Company, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Alabama Power Company

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY HEALTH DEPARTMENT:

The Health Department signature is for recording purposes and signifies that the Department is aware of this development and sees no obvious impediments to the planned central sewer system serving the lots as it was presented.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Health Officer  
Tallapoosa County, Alabama

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY E-911 BOARD:

The undersigned, as authorized by the E-911 Board of Tallapoosa County, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Chairman or Coordinator, 911 Board

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER FOR STORM DRAINAGE SYSTEM:

The undersigned, as duly appointed City Engineer of the City of Alexander City, Alabama, concur on the design of the storm drainage system as depicted on this plat.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
City Engineer  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER:

The undersigned, as duly appointed City Engineer of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
City Engineer  
City of Alexander City, Alabama

APPROVAL BY THE ALEXANDER CITY PLANNING COMMISSION:

I hereby certify that this plat for The Heritage at Lake Martin LLC, has been found to comply with the Subdivision Regulations for Alexander City, Alabama, with the exception of such variances and special conditions, if any, as noted in the minutes of the Planning Commission, and that it has been approved in the Office of the Probate Judge of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Chairman, Planning Commission

\_\_\_\_\_  
Secretary

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY ENGINEER:

The undersigned, as the County Engineer of Tallapoosa County, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
County Engineer

OFFICE OF THE JUDGE OF PROBATE:

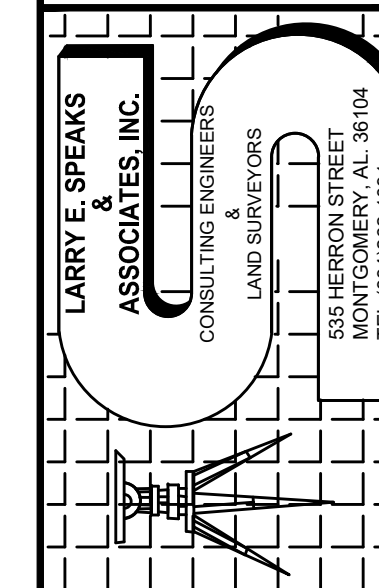
STATE OF ALABAMA  
TALLAPOOSA COUNTY

I hereby certify that this Plat or Map was filed in this Office for record this \_\_\_\_\_ day of \_\_\_\_\_, 2023, at \_\_\_\_\_ AM/PM, and recorded in Book \_\_\_\_\_ of Plats and Maps, Page \_\_\_\_\_ Recording \_\_\_\_\_ paid.

\_\_\_\_\_  
Judge of Probate  
Tallapoosa County

GENERAL NOTES:

- ALL DRAINAGE EASEMENTS AS SHOWN ON THIS PLAT ARE TO BE MAINTAINED BY THE OWNER OR OWNERS OF THE LOT OR LOTS UPON WHICH SUCH DRAINAGE EASEMENT IS LOCATED. FAILURE TO MAINTAIN AREA AS CONSTRUCTED AND INTENDED, MAY RESULT IN UPSTREAM FLOODING AND COULD RESULT IN A CIVIL LIABILITY.
- WITHOUT RELIEVING ANY OTHER LEGALLY RESPONSIBLE PARTIES, EACH LOT OWNER IS RESPONSIBLE FOR INSTITUTING ANY REQUIRED EROSION CONTROL MEASURES DURING THE CONSTRUCTION OF ANY IMPROVEMENTS ON THE LOT.
- IT IS A REQUIREMENT OF THIS PLAT THAT THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO SIDEWALKS, VALLEY GUTTER, OR CURB LOCATED ADJACENT TO THE OWNER'S LOT WHICH IS CAUSED BY CONTRACTORS WORKING ON THE OWNER'S LOT.
- IN THE EVENT TWO OR MORE ADJACENT LOTS ARE PURCHASED BY THE SAME PERSON AND CONSTRUCTION CROSSES OVER A LOT LINE, THE UTILITY EASEMENT ON SAID LOT LINE SHALL BE VACATED, PROVIDED THE OWNER OF THE LOTS MAKES ARRANGEMENTS WITH THE OWNER OF ANY UTILITIES IN PLACE TO REMOVE AND/OR RELOCATE SAID UTILITIES. IN ADDITION, THE LOT OWNER IS REQUIRED TO FOLLOW THE CITY ADMINISTRATIVE PLAT PROCEDURE TO CONSOLIDATE LOTS.
- THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES, AND THE CITY OF ALEXANDER CITY, ALABAMA, IN OPERATION OF THE SEWER AND WATER SYSTEMS SERVICING THE HERITAGE ARE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN SEWER LINES, WATER LINES, PUMPING STATIONS, LIFT STATIONS, LATERALS AND OTHER SEWER AND WATER EQUIPMENT AND APPLIANCES IN THE HERITAGE ROADWAYS AND WITHIN THE DRAINAGE AND UTILITY EASEMENTS SHOWN ON SUBJECT PLAT, AS WELL AS THE RIGHT TO INSTALL SERVICE LATERALS, RUNNING FROM SAID UTILITY EASEMENT TO THE DWELLINGS OR BUILDINGS CONSTRUCTED ON LOTS WITHIN SUBJECT PLAT; TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVENIENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF, AND ALSO, THE RIGHT TO CUT AND KEEP CLEAN ALL TREES, UNDERBRUSH, SHRUBBERY, ROOTS AND OTHER GROWTH AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES.
- THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES, AT&T TELECOMMUNICATIONS COMPANY AND ALL OTHER UTILITIES, INCLUDING CABLE PROVIDERS, SHALL, WITH THE PRIOR WRITTEN CONSENT OF THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES, BE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN THEIR FACILITIES INCLUDING ALL CONDUITS, CABLES, TRANSCLOSURES, PIPE AND OTHER APPLIANCES USEFUL OR NECESSARY IN CONNECTION THEREWITH, WITHIN A TEN (10) FOOT EASEMENT ALONG THAT PORTION OF EACH LOT ABUTTING A HERITAGE ROADWAY, OR AS DESCRIBED ON THE PLAT, AND ANY OTHER UTILITY EASEMENT SHOWN, TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVENIENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF, AND ALSO, THE RIGHT TO CUT AND KEEP CLEAN ALL TREES, UNDERBRUSH, SHRUBBERY, ROOTS AND OTHER GROWTH AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES.
- AN EASEMENT IS GRANTED TO THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEES OVER AND ACROSS THE HERITAGE ROADWAYS AND THE ADJACENT AREA SHOWN AS UTILITY EASEMENTS; ALL FOR INSTALLATION, MAINTENANCE, REPAIRS AND IMPROVEMENTS TO WATER AND SEWER SYSTEMS SERVICING THE HERITAGE.
- BEARINGS AND DISTANCES SHOWN AROUND THE WATER ARE INTENDED TO REPRESENT THE 491' M.S.L. CONTOUR OF LAKE MARTIN (FULL POOL ELEVATION). THESE BEARINGS AND DISTANCES ARE FOR DETERMINING ACREAGE OF LOTS. IT IS INTENDED THAT ALL LOTS EXTEND TO THE 491' M.S.L. CONTOUR (FULL POOL ELEVATION) AND NOT EXACTLY TO THE POINTS SHOWN BY THE BEARINGS AND DISTANCES.
- THERE IS HEREBY GRANTED A 10' MINIMUM BLANKET UTILITY EASEMENT FOR ALL UTILITIES IN THIS SUBDIVISION ALONG EACH SIDE LOT LINE, 5' EACH SIDE FOR A TOTAL OF 10', UNLESS NOTED OTHERWISE ON THE PLAT.
- ACCORDING TO A LETTER DATED MAY 6, 2009, FROM THE ALABAMA POWER COMPANY THE HIGHEST RECORDED POOL ELEVATION MEASURED AT MARTIN DAM SINCE 1940 IS 491.90' M.S.L. THE COUNTY SUBDIVISION REGULATIONS REQUIRE THAT ALL STRUCTURES BE BUILT A MINIMUM 1.00' ABOVE THE HIGHEST RECORDED POOL ELEVATION (492.90' M.S.L.) THE APPROXIMATE LOCATION OF THE ABOVE DESCRIBED 492.90' M.S.L. LINE IS SHOWN ON THE PLAT FOR REFERENCE. LOT OWNERS MUST COMPLY WITH BUILDING SET BACK REQUIREMENTS CONTAINED IN THE CHARTER OR DESIGN GUIDELINES.
- THIS IS A PRIVATELY MAINTAINED SUBDIVISION.
- THE HERITAGE PROPERTY OWNERS ASSOCIATION, INC. IS FULLY RESPONSIBLE FOR THE REPAIR AND MAINTENANCE OF THE ROADS AND DRAINAGE THROUGHOUT THE SUBDIVISION. THE CITY OF ALEXANDER CITY IS NOT RESPONSIBLE FOR ANY MAINTENANCE OF ROADS, COMMON AREAS, RIGHT OF WAY MAINTENANCE, AND DRAINAGE.
- ALL THE PROPERTY INCLUDED WITHIN THIS PLAT IS SUBJECT TO THE COMMUNITY CHARTER FOR THE HERITAGE, (I.E. COVENANTS, CONDITIONS AND RESTRICTIONS), AS RECORDED IN DOCUMENT NUMBER 365211, THE COVENANT FOR RUSSELL FOREST PRESERVATION ORGANIZATION, INC., AS RECORDED IN DOCUMENT NUMBER 252919, PAGES 1-52; THE AMENDMENT TO THE COVENANT FOR RUSSELL FOREST PRESERVATION ORGANIZATION, INC., AS RECORDED IN DOCUMENT NUMBER 293621, PAGES 1-3; AND THE ARTICLES OF INCORPORATION OF THE HERITAGE PROPERTY OWNERS ASSOCIATION, INC. AS RECORDED IN DOCUMENT NUMBER 365287, PAGES 1-5, ALL IN THE OFFICE OF THE JUDGE OF PROBATE, TALLAPOOSA COUNTY, ALABAMA.
- ALABAMA POWER COMPANY IS GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN ITS FACILITIES, INCLUDING ALL CONDUITS, CABLES, TRANSCLOSURES AND OTHER APPLIANCES USEFUL OR NECESSARY IN CONNECTION THEREWITH, WITHIN A TEN (10) FOOT EASEMENT ALONG THAT PORTION OF EACH LOT ABUTTING A DEDICATED STREET, AND ANY OTHER UTILITY EASEMENT SHOWN, FOR THE UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRIC POWER, TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVENIENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF; AND ALSO, THE RIGHT TO CUT AND KEEP CLEAR ALL TREES, UNDERBRUSH, SHRUBBERY, ROOTS AND OTHER GROWTH, AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES. ALSO INCLUDED IN THE RIGHTS GRANTED HEREIN IS THE RIGHT TO INSTALL SERVICE LATERALS RUNNING FROM SAID 10 FOOT WIDE EASEMENT TO THE DWELLINGS OR BUILDINGS CONSTRUCTED ON THE LOTS WITHIN THIS PLAT.
- ALL PARKS, EXPANSION AREAS, COMMON AREAS AND COMMON LAKE ACCESS POINTS, IF ANY, WILL NOT BE MAINTAINED BY THE COUNTY OR CITY OF ALEXANDER CITY.
- THE LOT OWNER IS RESPONSIBLE FOR THE DRIVEWAY PIPE AS DICTATED BY HYDROLOGY.
- IT IS A REQUIREMENT OF THIS PLAT THAT ANY RIGHT-OF-WAY MAINTENANCE IS THE RESPONSIBILITY OF THE HERITAGE OWNER'S ASSOCIATION. EXCEPT FOR ANY DAMAGE CAUSED BY THE CITY OF ALEXANDER CITY IN MAINTAINING UTILITIES.
- SITE DATA:  
TOTAL TRACT ACREAGE: 7.35 ACRES  
SMALLEST LOT SIZE: 43 ACRES  
TOTAL NUMBER OF LOTS: 9 LOTS  
LINEAR FOOTAGE OF STREETS: 698 LF



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

REVISIONS		DATE	DESCRIPTION
No.			

Project No.:	18109A
Dwg Name:	C1 - PREPLAT DWG
Drawn By:	AMK
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**PRELIMINARY  
PLAT**

SHEET

**C1.1**

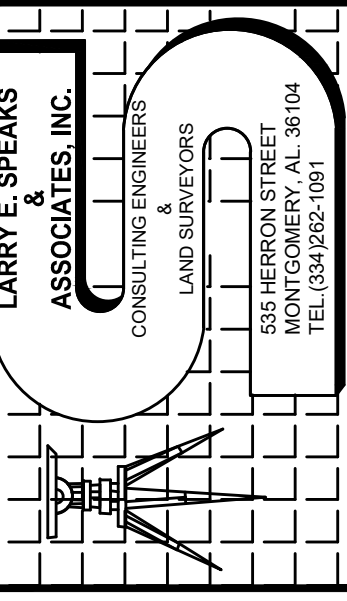
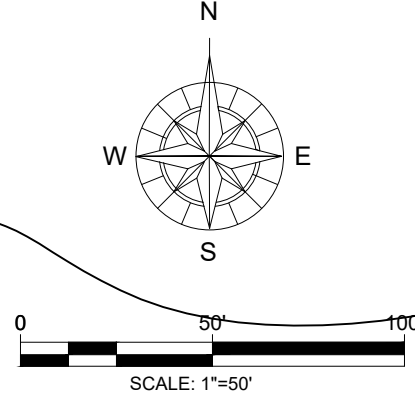


560

15

10

11



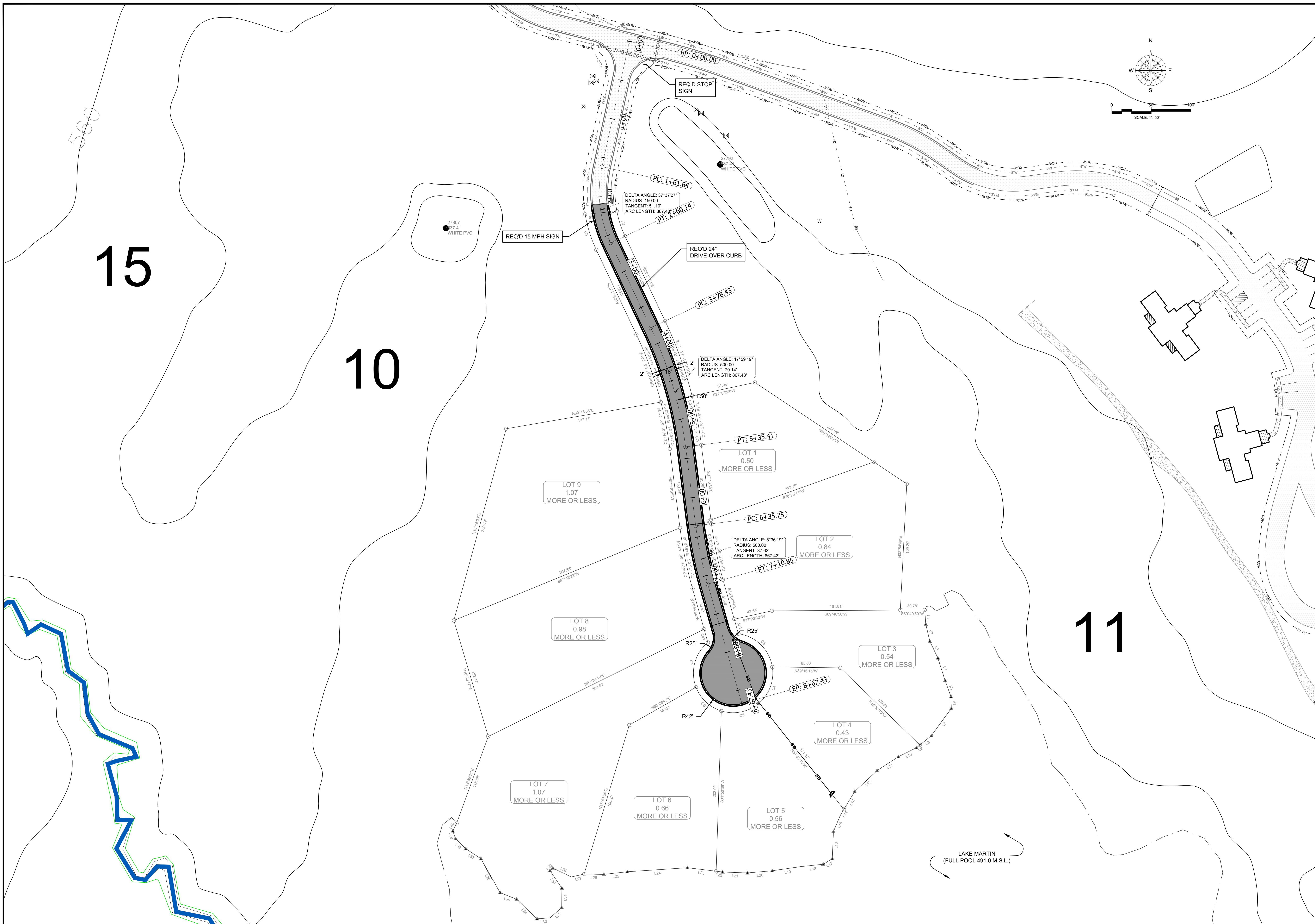
WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

REVISIONS	
No.	DESCRIPTION

Project No.:	18109A
Dwg Name:	C2 - SITE PLAN/DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**SITE PLAN**

SHEET  
**C2.1**



REQ'D 15 MPH SIGN

REQ'D STOP SIGN

REQ'D 24" DRIVE-OVER CURB

LOT 9  
1.07  
MORE OR LESS

LOT 1  
0.50  
MORE OR LESS

LOT 2  
0.84  
MORE OR LESS

LOT 8  
0.98  
MORE OR LESS

LOT 3  
0.54  
MORE OR LESS

LOT 7  
1.07  
MORE OR LESS

LOT 6  
0.66  
MORE OR LESS

LOT 5  
0.56  
MORE OR LESS

LOT 4  
0.43  
MORE OR LESS

LAKE MARTIN  
(FULL POOL 491.0 M.S.L.)



**LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING WETLAND
- PROPOSED ASPHALT
- PROPOSED CURB & GUTTER
- PROPOSED STORM INLET
- PROPOSED STORM PIPE
- REQ'D SILT FENCE (TYPE-A)
- REQ'D EROSION CONTROL BLANKET
- REQ'D INLET PROTECTION
- REQ'D RIP RAP OUTLET PROTECTION
- REQ'D RECYCLEX DITCH LINER
- DRAINAGE BASIN

**Drainage Calculations - 25 Year Storm Event**

Area No.	Area (ac)	L (ft)	Cw	S	tc	i	Q (cfs)
A1	0.16	95	0.90	4.21	5.00	8.24	1.18
A2	0.05	121	0.90	4.13	5.00	8.24	0.34
A3.1	0.05	126	0.90	3.97	5.00	8.24	0.34
A4	0.06	178	0.90	4.49	5.00	8.24	0.46
A4.1	0.06	179	0.90	4.47	5.00	8.24	0.46

**Pipe Sizes - 25 Year Storm Event**

STR-STR	Added Q	Total Q	Pipe	Min. Slope, %
A4.1-A4	0.46	0.46	15"	0.01
A4-A3	0.46	0.93	15"	0.02
A3.1-A3	0.34	0.34	15"	0.01
A3-A2	0.34	1.61	18"	0.02
A2-A1	1.18	2.79	18"	0.06



**LARRY E. SPEAKS & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 LAND SURVEYORS  
 501 MONROE STREET  
 MONTGOMERY, AL 36104  
 TEL: (334) 832-1091

**WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA**

**REVISIONS**

No.	DATE	DESCRIPTION

Project No.:	18109A
Dwg Name:	C3-GRADING PLANDWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

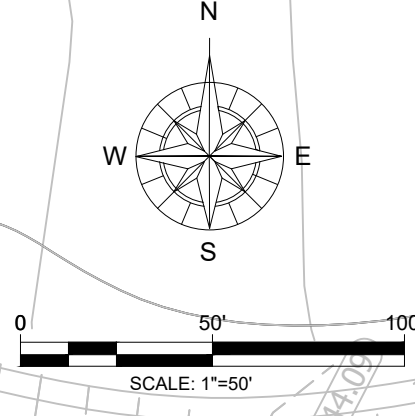
**DRAWING TITLE:**  
**GRADING & DRAINAGE PLAN**

**SHEET**  
**C3.1**



**LEGEND**

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING WETLAND
	PROPOSED ASPHALT
	PROPOSED CURB & GUTTER
	PROPOSED STORM INLET
	PROPOSED STORM PIPE
	REQ'D SILT FENCE (TYPE-A)
	REQ'D EROSION CONTROL BLANKET
	REQ'D INLET PROTECTION
	REQ'D RIP RAP OUTLET PROTECTION
	REQ'D RECYCLE DITCH LINER
	DRAINAGE BASIN



**LARRY E. SPEAKS & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 LAND SURVEYORS  
 504 HERON STREET  
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**WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA**

**REVISIONS**

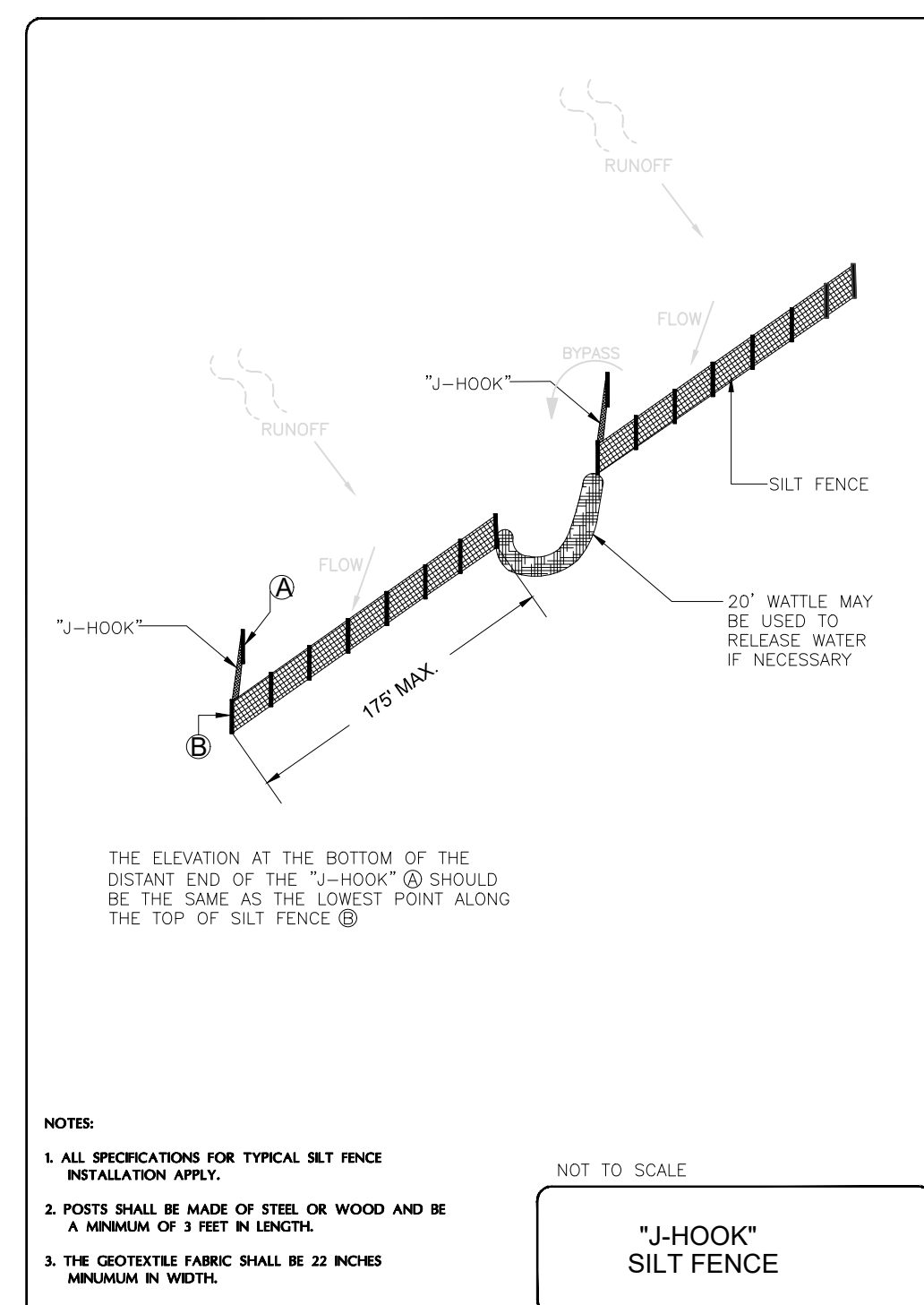
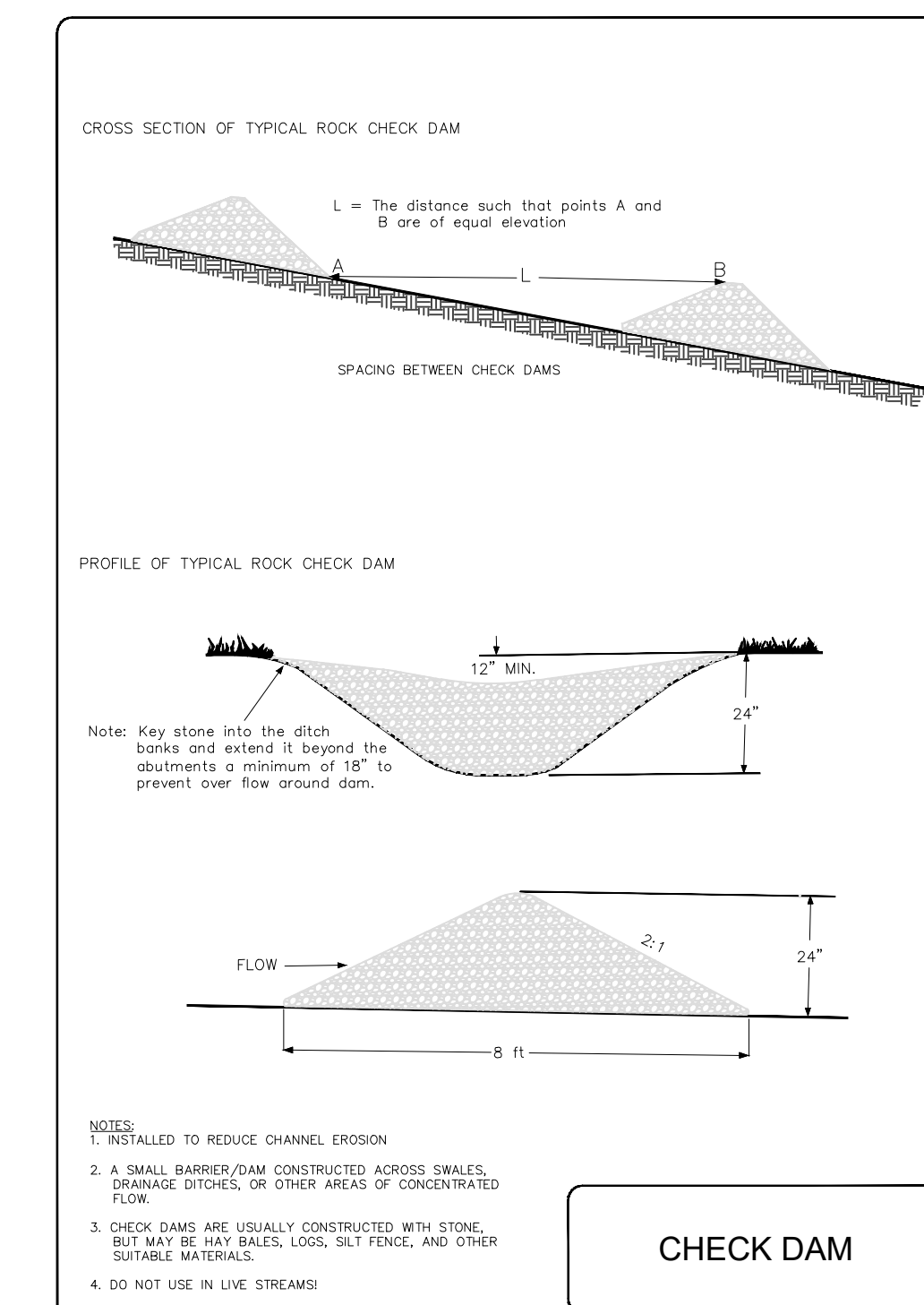
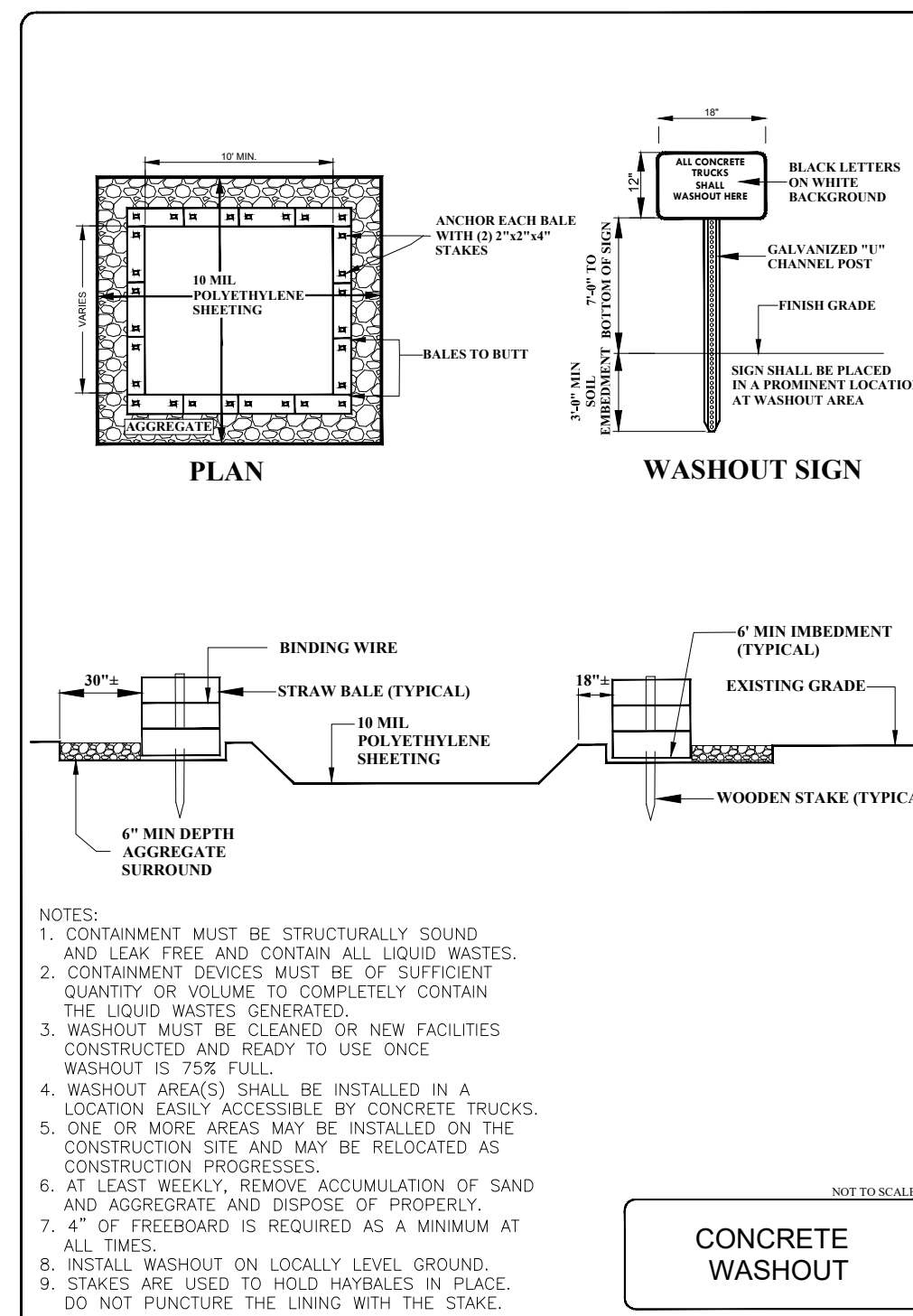
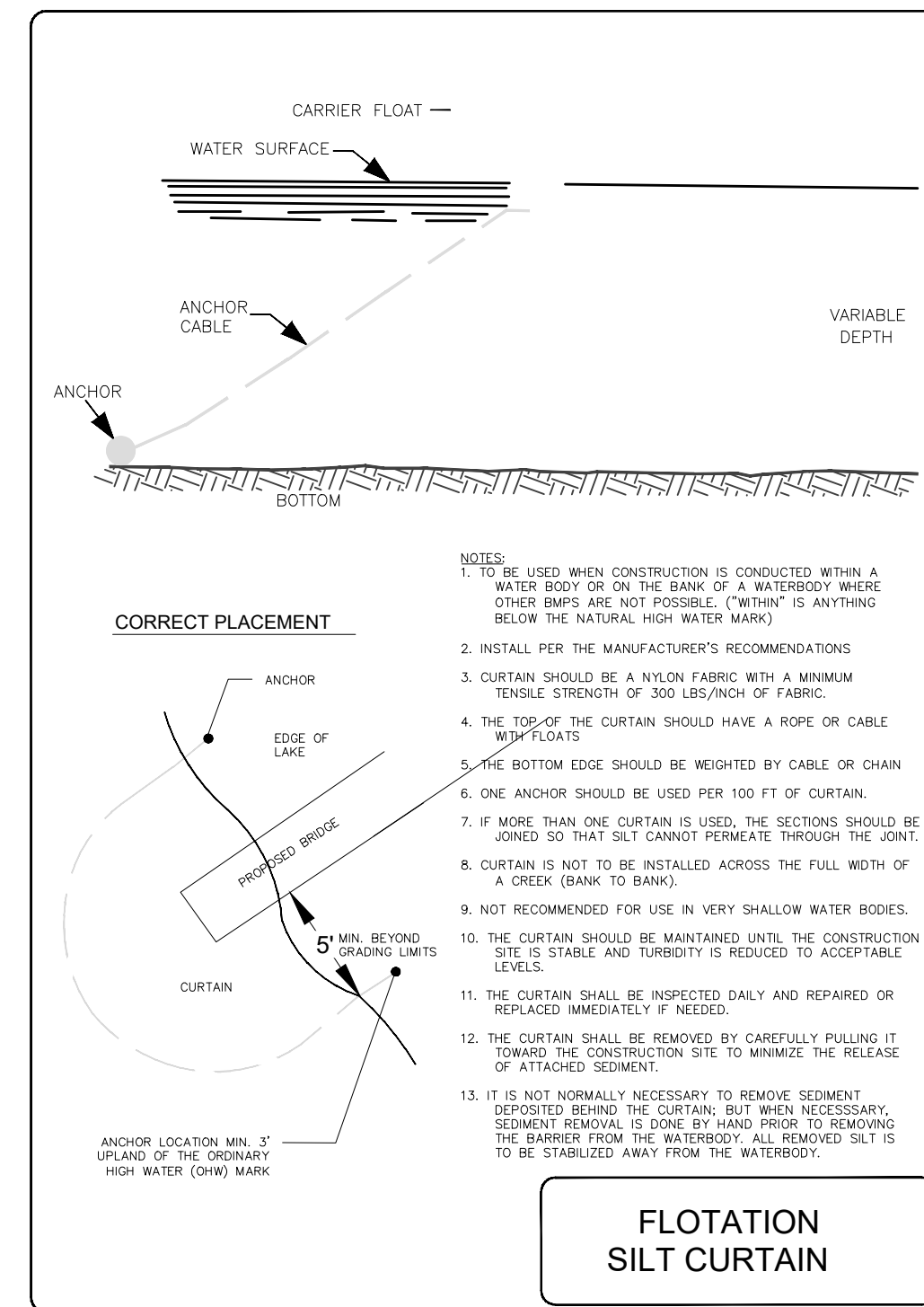
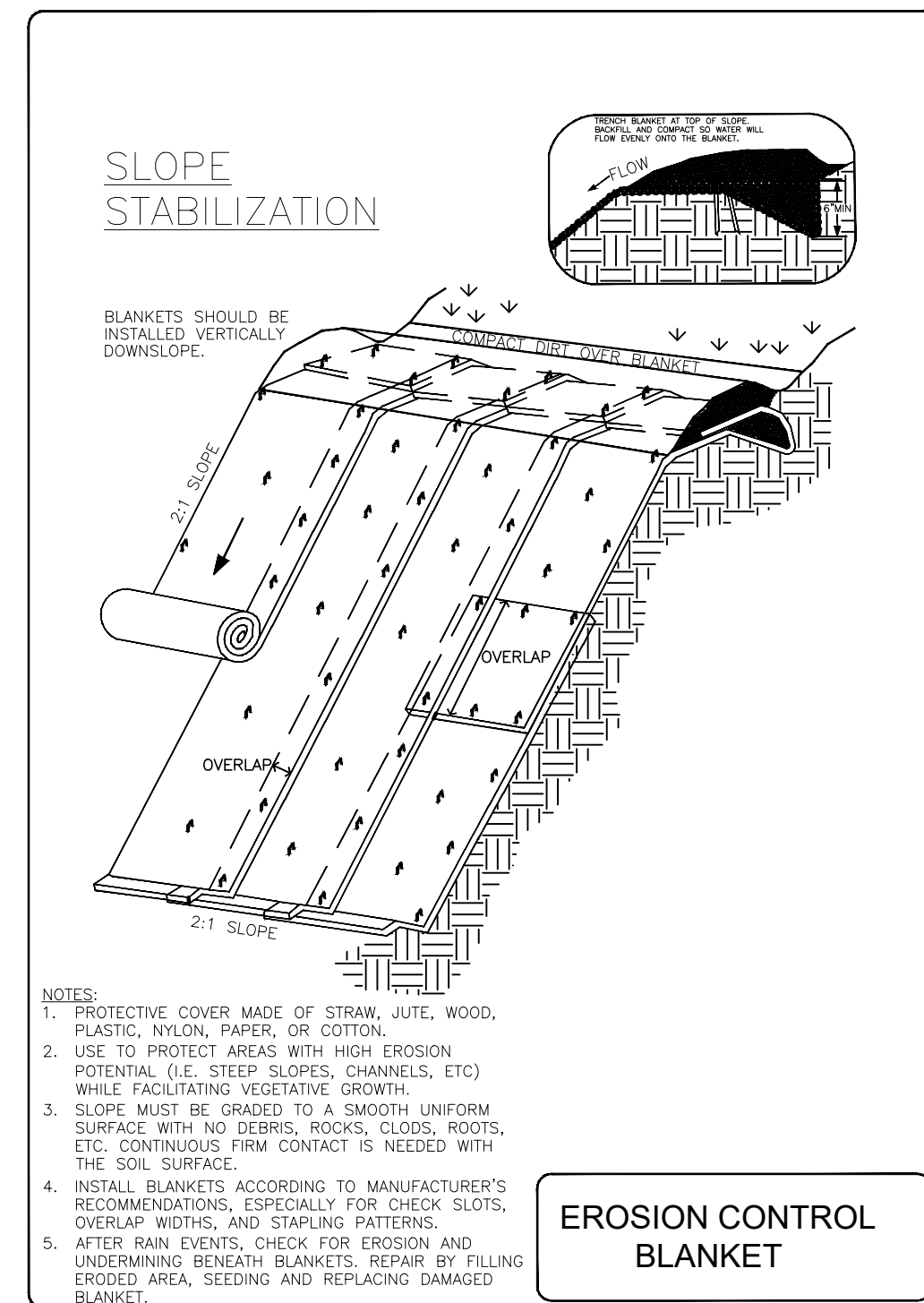
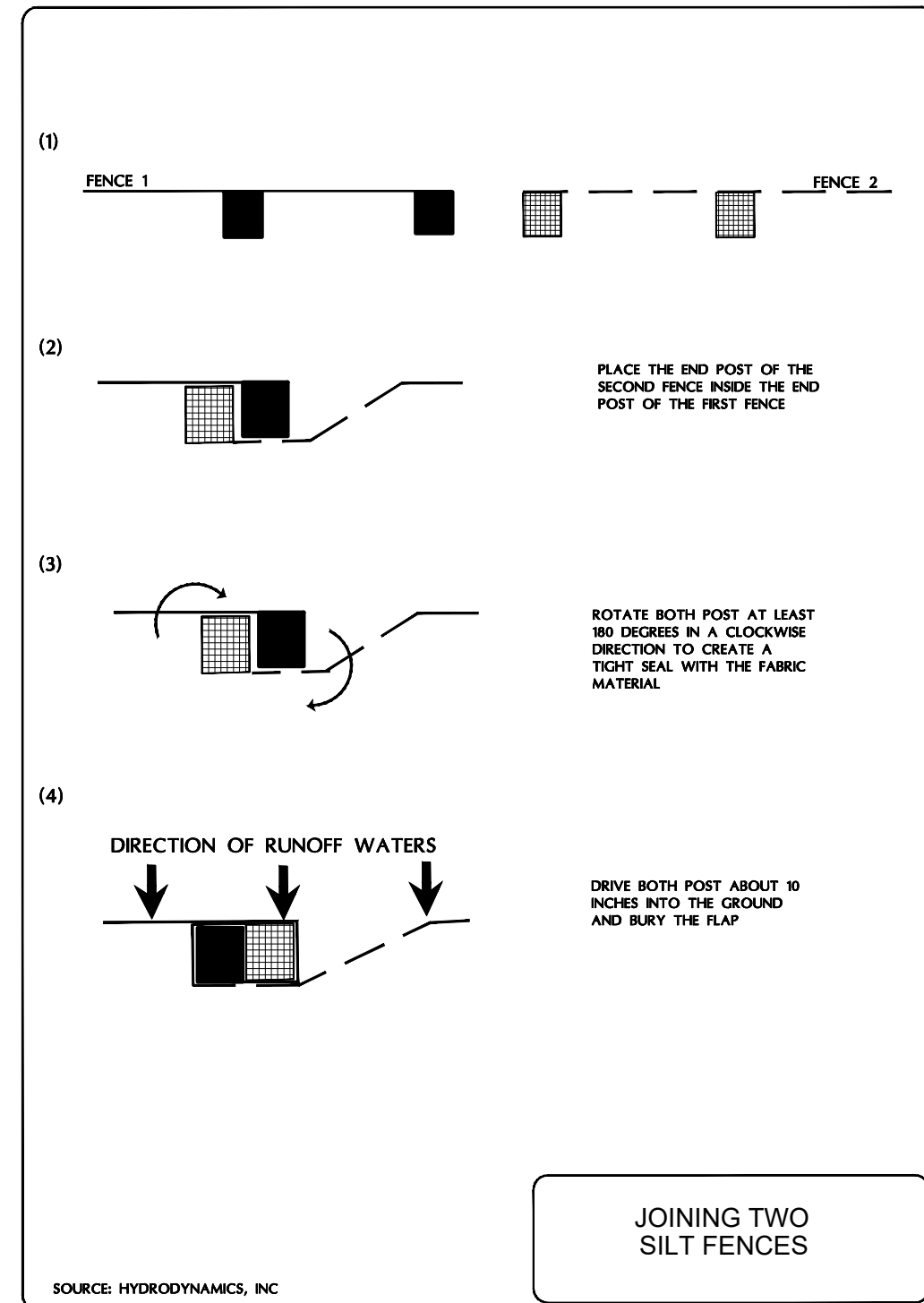
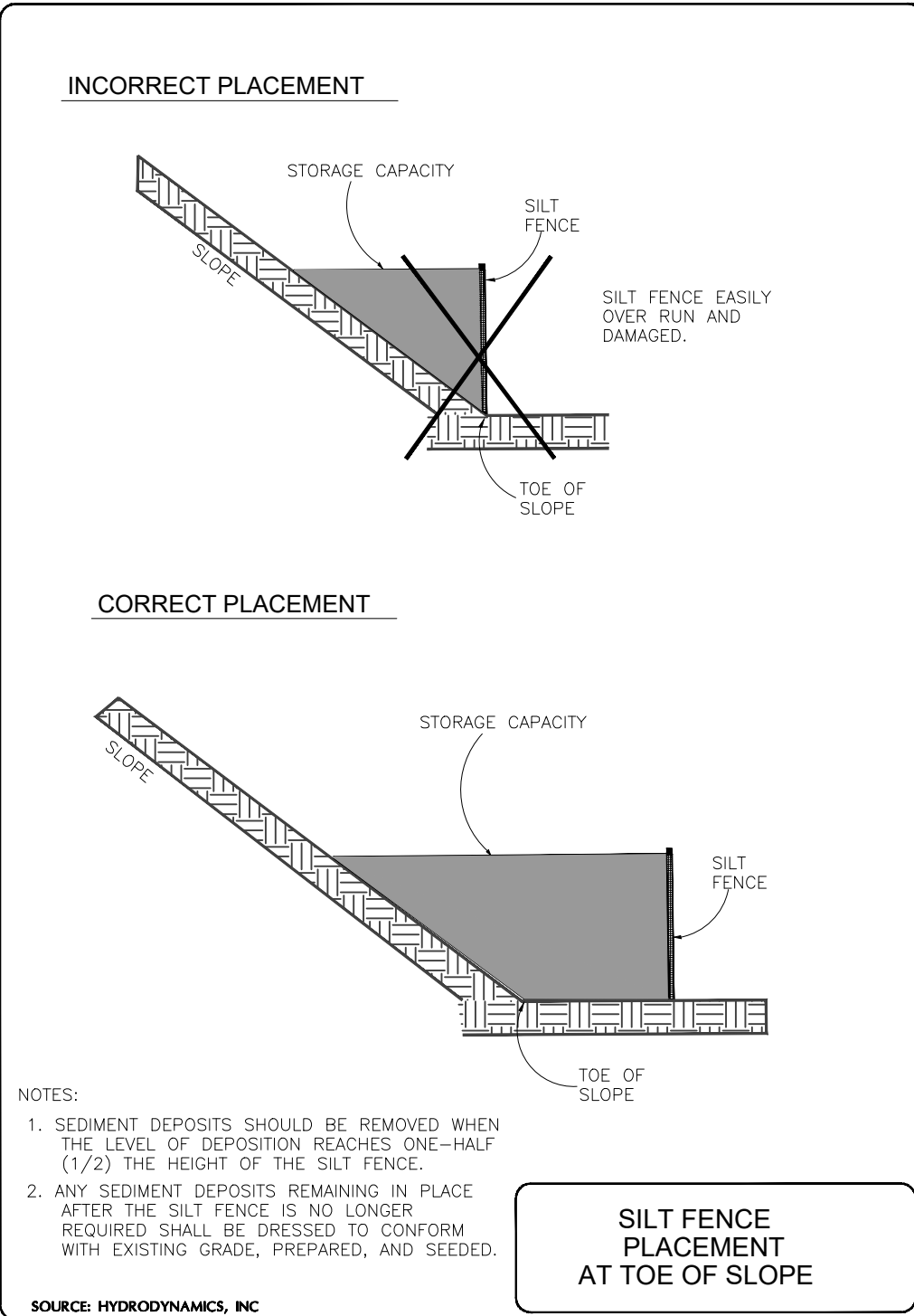
No.	DATE	DESCRIPTION

Project No.:	18109A
Dwg Name:	CS-GRADING PLANDWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

**DRAWING TITLE:**  
 EROSION CONTROL PLAN

**SHEET**  
 C3.2





### Temporary Seeding Guidelines

Species	Seeding Rate / Ac	Central Alabama Seeding Dates
Millet, Browntop or German	40 lbs	Apr 1 – Aug 15
Rye	3 bu*	Sept 15 – Nov 15
Ryegrass	30 lbs	Sept 1 – Oct 15
Sorghum-Sudan Hybrids	40 lbs	Apr 15 – Aug 1
Sudangrass	40 lbs	Apr 15 – Aug 1
Wheat Common	3 bu	Sept 15 – Nov 15
Common Bermudagrass	10 lbs	Mar 15 – July 15
Crimson Clover	10 lbs	Sept 1 – Nov 1

\*bu = bushel

### Permanent Seeding Guidelines

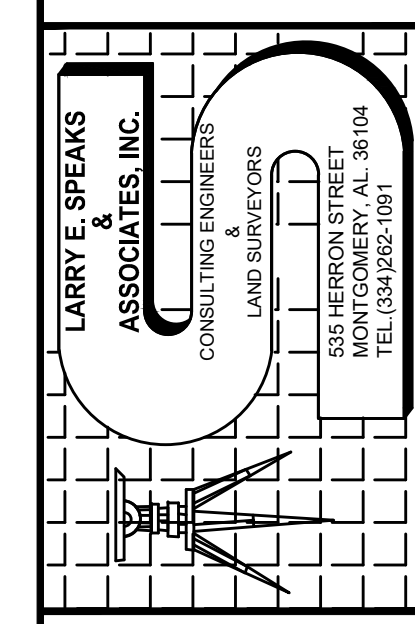
Species	Seeding Rate / Ac	Central Alabama Seeding Dates
Bahiagrass, Pensacola	40 lbs	Mar 1 – July 1
Bermudagrass, Common	10 lbs	Mar 15 – July 15
Bahiagrass, Pensacola & Bermudagrass, Common	30 lbs	Mar 1 – July 1
Bermudagrass, Common	5 lbs	
Bermudagrass, Hybrid (lawn types)	Solid Sod	Anytime
Bermudagrass, Hybrid (lawn types)	Sprigs	Mar 1 – Aug 1
Bermudagrass, Hybrid (lawn types)	1/sq ft	
Fescue, Tall	40-50 lbs	Sept 1 – Nov 1
Sericea	40-60 lbs	Mar 1 – July 15
Sericea & Common Bermudagrass	40 lbs	Mar 1 – July 15
Common Bermudagrass	10 lbs	
Switchgrass, Alamo	4 lbs	Mar 15 - Jun 15

### Mulching Guidelines

Material	Rate Per Acre & (per 1000 ft2)	Notes
Straw with Seed	1 1/2 - 2 tons (70 - 90 lbs)	Spread by hand or machine to attain 75% groundcover; anchor when subject to blowing.
Straw alone (no seed)	2 1/2 - 3 tons (115-140 lbs)	Spread by hand or machine; anchor when subject to blowing.
Wood Chips	5-6 tons (230-275 lbs)	Treat with 12 lbs nitrogen per ton.
Bark	35 cubic yards (0.8 cubic yard)	Can apply with mulch blower
Pine Straw	1-2 tons (45-90 lbs)	Spread by hand or machine; will not blow like straw.
Peanut Hulls	10-20 tons (450-900 lbs)	Will wash off slopes. Treat with 12 lbs nitrogen per ton.
Hydraulic Erosion Controls Practices	0.75 - 2.25 tons (35 lbs - 103 lbs)	Refer to ECTC* or Manufacturer's Specifications

\*ECTC - Erosion Control Technology Council [www.ectc.org](http://www.ectc.org)

- When mulching with seeding, 25% to 35% of the ground surface should be visible after mulch is applied.
- When mulching without seeding, 100% of the soil surface should be covered.
- Anchor straw or wood cellulose by crimping, using a liquid tackifier, or covering with netting (i.e. erosion control blanket).
- Inspect all mulched areas after rainstorms for erosion and damage to the mulch.
- Make repairs promptly and restore to original condition.



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

### REVISIONS

No.	DATE	DESCRIPTION

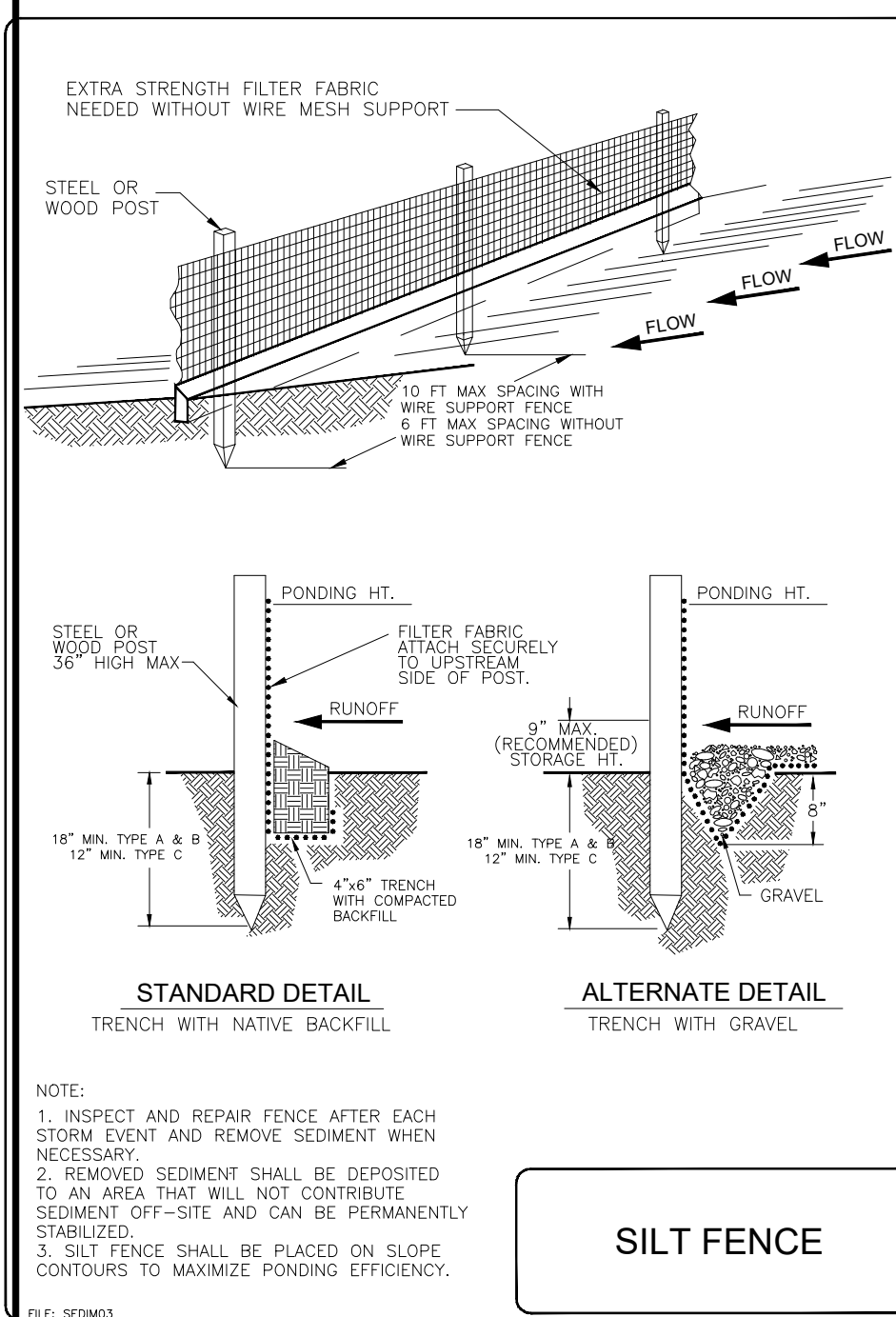
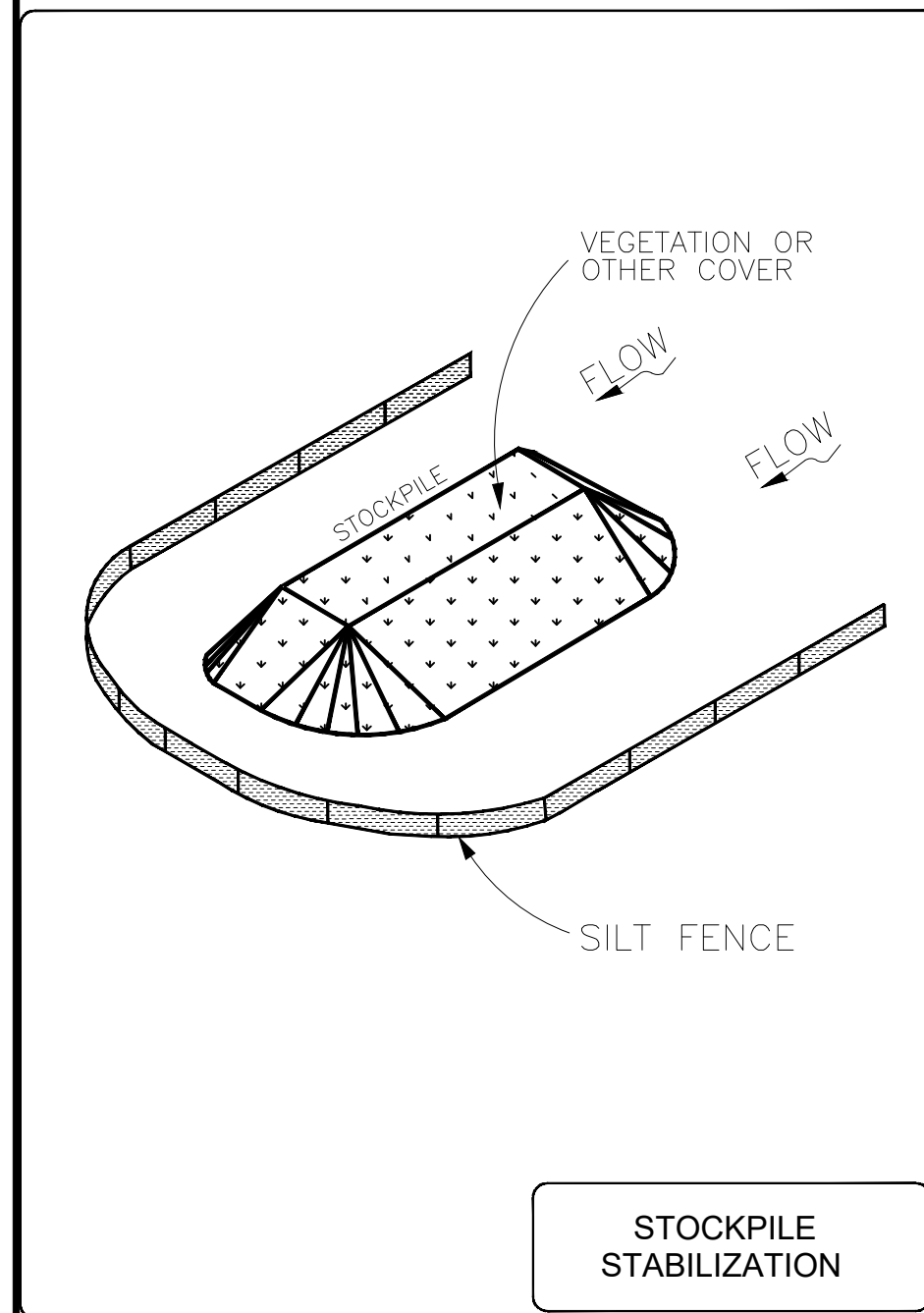
Project No.: 18109A  
Drawing Title: CE-GRADING PLANDWG  
Drawn By: AMW  
Reviewed By: CBM  
Date Issued: 07/27/2023

DRAWING TITLE:  
**EROSION CONTROL DETAILS**

SHEET

**C3.3**





**Construction Specifications:**

The height of a silt fence shall not exceed 36 inches. Storage height shall never exceed 1/2.

The fence line shall follow the contour as closely as possible.

If possible, the filter fabric shall be cut from a continuous roll to avoid the use of joints. When joints are necessary, filter cloth shall be applied only at a support post, with a minimum 6-inch overlap and both ends securely fastened to the post.

Posts shall be spaced a maximum of 10 feet apart and driven securely into the ground (minimum of 18 inches). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet.

Turn the ends of the fence uphill.

A trench shall be excavated approximately 4 inches wide and 6 inches deep along the line of posts and upslope from the barrier.

When standard-strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1/2 inch long, in wires or top rings. The wire shall extend into the trench a minimum of 6 inches and shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.

The standard-strength filter fabric shall be stapled or wired to the fence, and 6 inches of the fabric shall extend into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.

When extra-strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts.

The trench shall be backfilled and the soil compacted over the toe of the filter fabric.

Silt fences placed at the toe of a slope shall be set at least 6 feet from the toe in order to increase ponding volume.

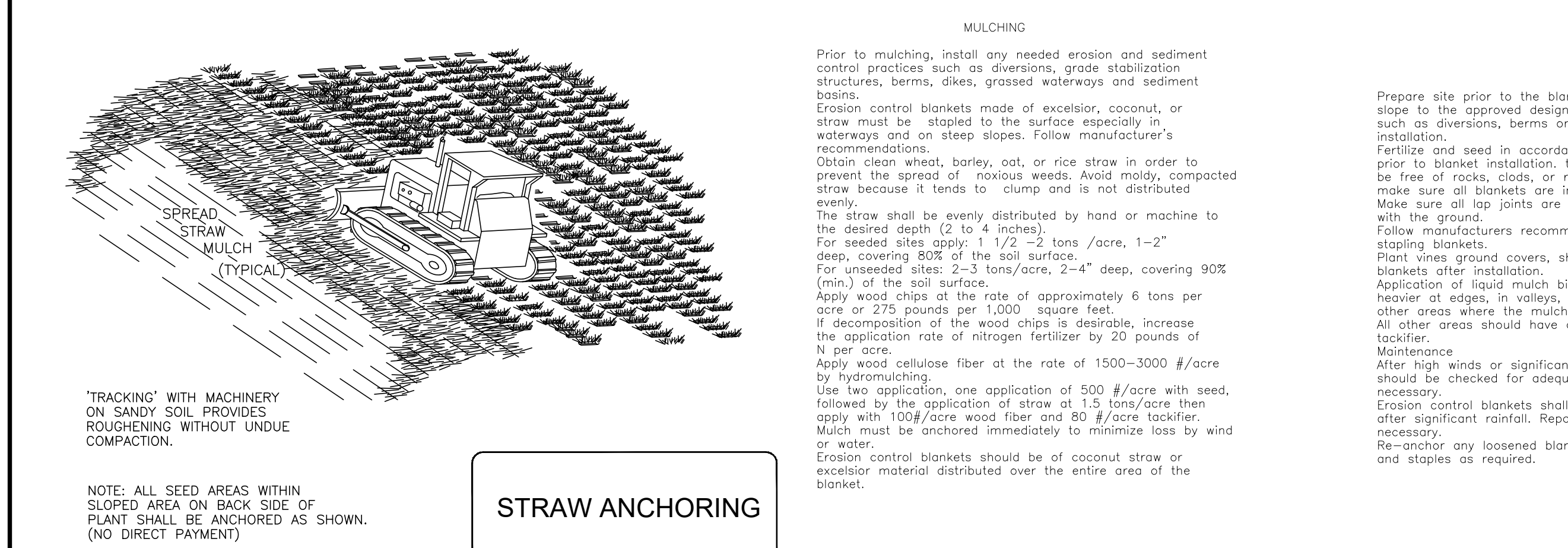
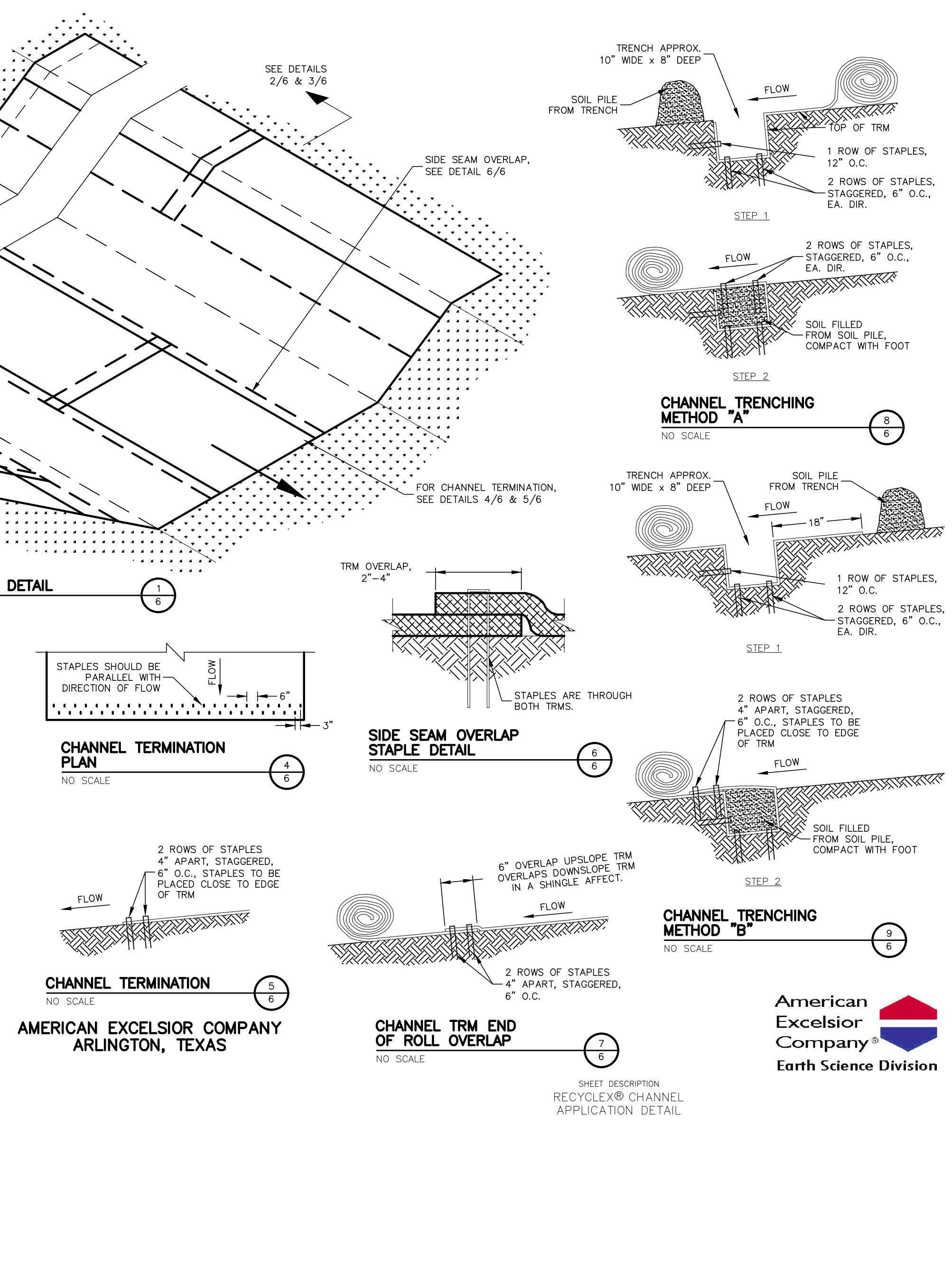
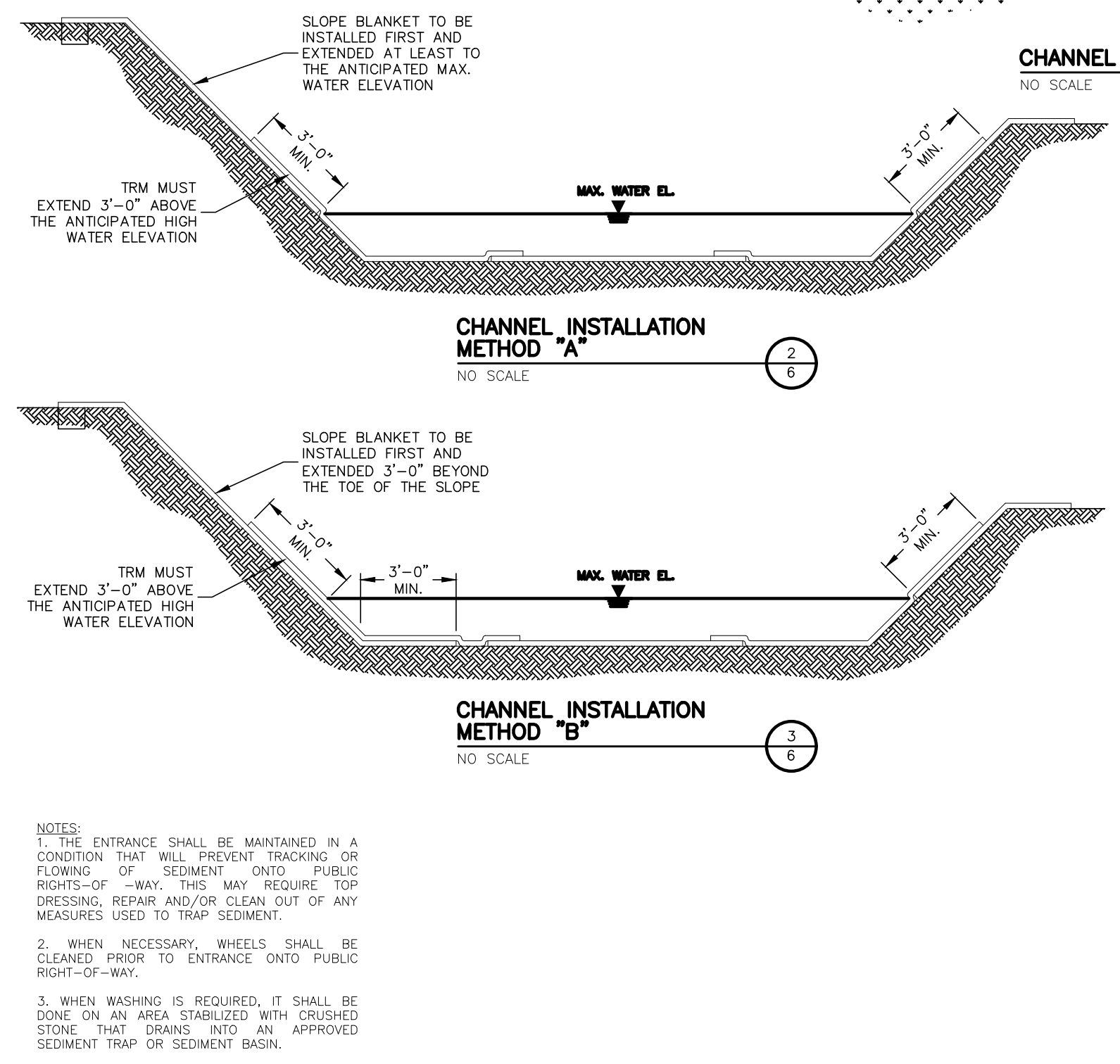
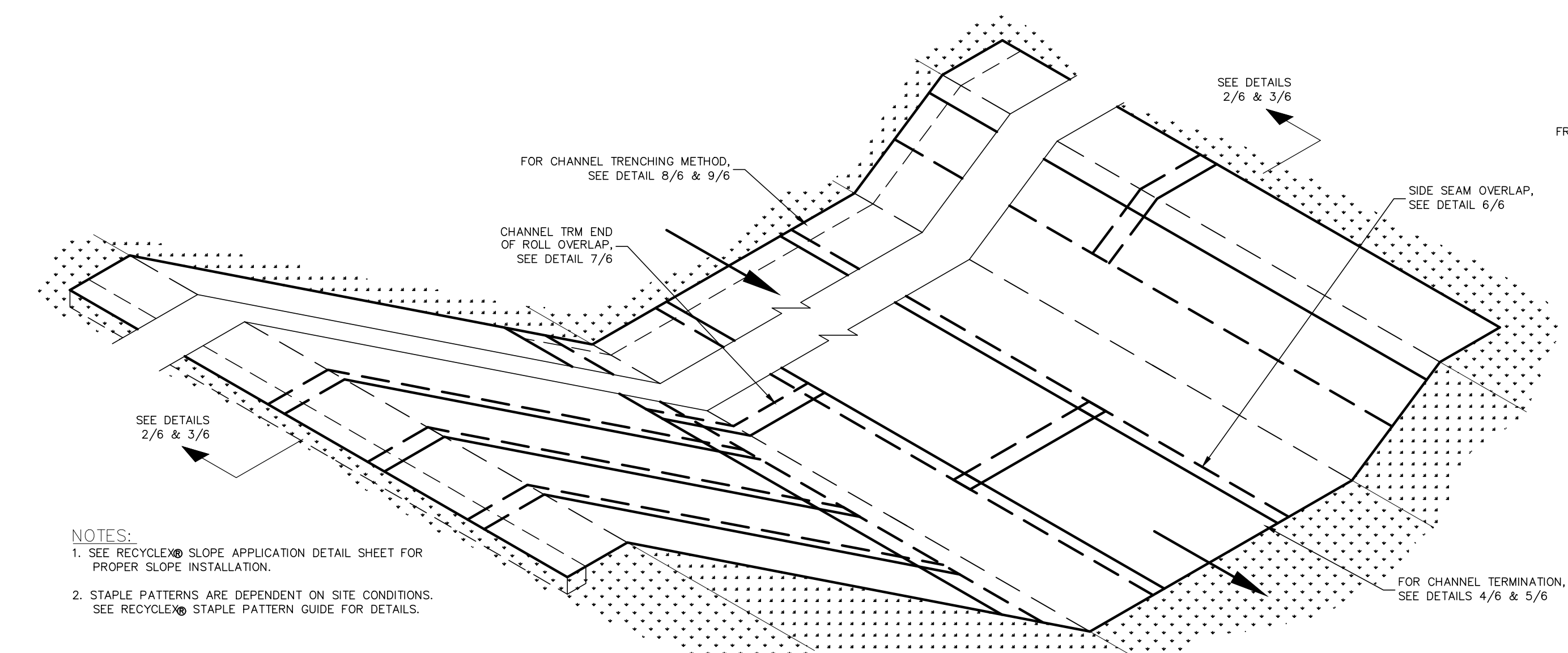
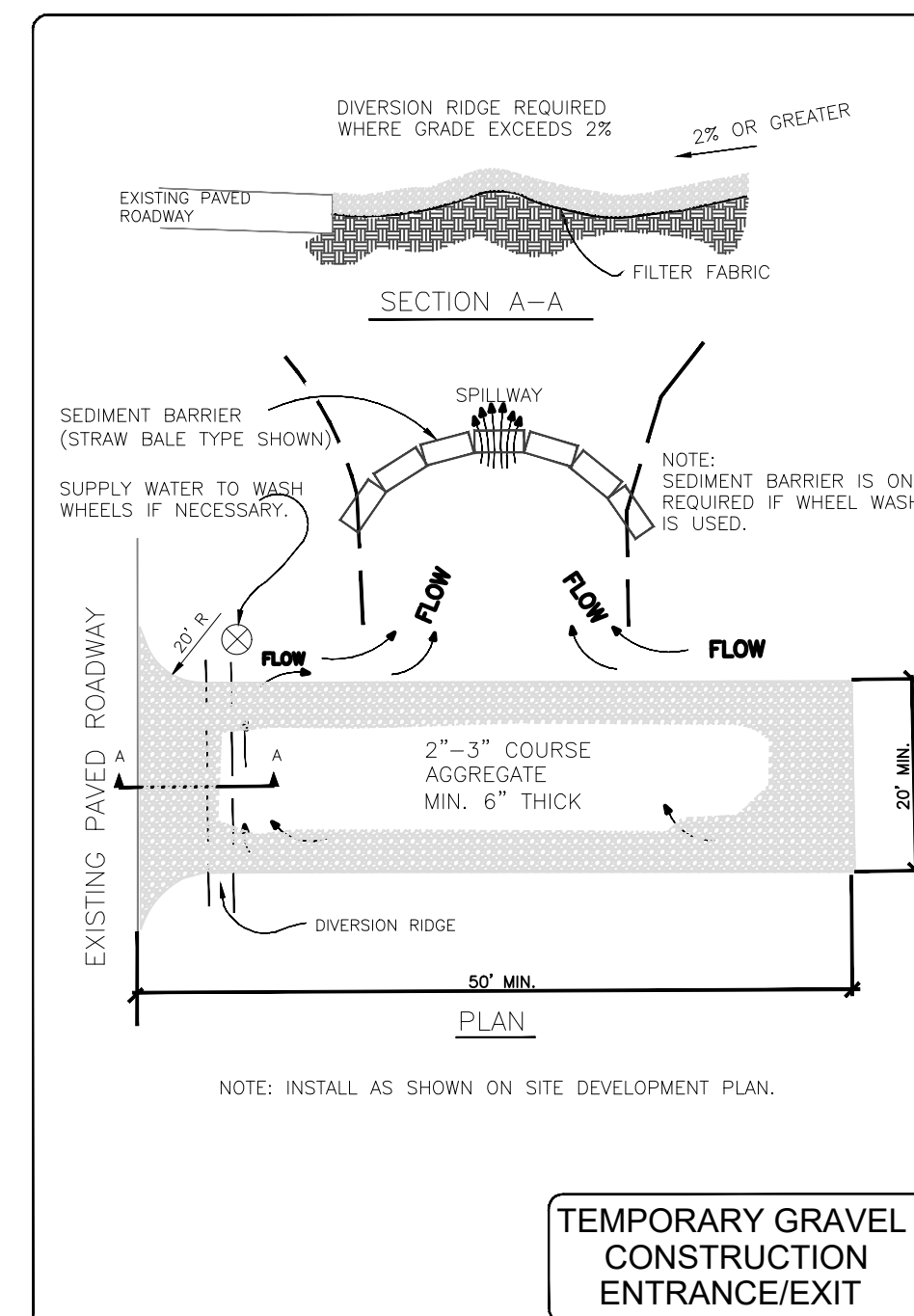
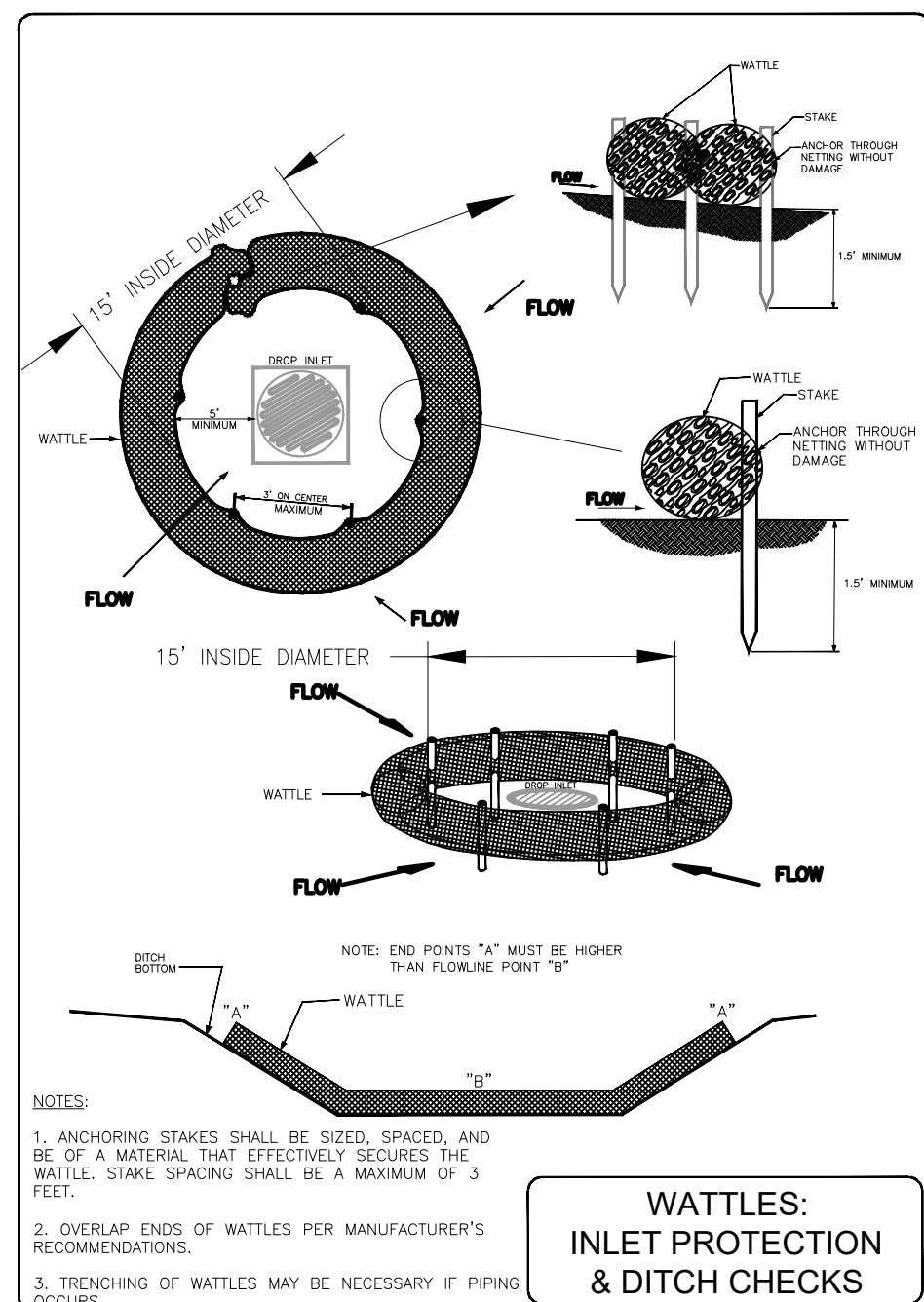
Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized, and any sediment stored behind the silt fence has been removed.

**Inspection and Maintenance:**

Silt fences and filter barriers shall be inspected weekly and after each significant storm (1/4" in 24 hr.). Any required repairs shall be made immediately.

Sediment shall be removed when it reaches 1/2 the height of the fence or 9 inches maximum.

The removed sediment shall be vegetated or otherwise stabilized.



**MULCHING**

Prior to mulching, install any needed erosion and sediment control practices such as diversions, grade stabilization structures, berms, dikes, grassed waterways and sediment basins.

Erosion control blankets made of excelsior, coconut, or straw must be stapled to the surface especially in waterways and on steep slopes. Follow manufacturer's recommendations.

Obtain clean wheat, barley, oat, or rice straw in order to prevent the spread of noxious weeds. Avoid moldy, compacted straw because it tends to clump and is not distributed evenly.

The straw shall be evenly distributed by hand or machine to the desired depth (2 to 4 inches).

For seeded sites apply: 1 1/2 - 2 tons /acre, 1-2" deep, covering 90% of the soil surface.

For unseeded sites: 2-3 tons/acre, 2-4" deep, covering 90% (min.) of the soil surface.

Apply wood chips at the rate of approximately 6 tons per acre or 275 pounds per 1,000 square feet.

If decomposition of the wood chips is desirable, increase the application rate of nitrogen fertilizer by 20 pounds of N per acre.

Apply wood cellulose fiber at the rate of 1500-3000 #/acre by hydromulching.

Use two applications, one application of 500 #/acre with seed, followed by the application of straw at 1.5 tons/acre then apply with 100#/acre wood fiber and 80 #/acre tackifier. Mulch must be anchored immediately to minimize loss by wind or water.

Erosion control blankets should be of coconut straw or excelsior material distributed over the entire area of the blanket.

Prepare site prior to the blanket installation. Grade and slope to the approved design and complete any runoff control such as diversions, berms or dikes prior to blanket installation.

Fertilize and seed in accordance with seeding specifications prior to blanket installation. The friable seed bed should be free of rocks, clods, or roots.

Make sure all blankets are in uniform contact with the soil. Make sure all lap joints are secure and staples are flush with the ground.

Follow manufacturer's recommendations for securing and stapling blankets.

Plant vines ground covers, shrubs and other erosion control blankets after installation.

Application of liquid mulch binders and tackifiers should be heavier at edges, in valleys, and at crests of berms and other areas where the mulch will be moved by wind or water. All other areas should have a uniform application of the tackifier.

**Maintenance:**

After high winds or significant rainstorms mulched areas should be checked for adequate cover and re-mulched if necessary.

Erosion control blankets shall be inspected monthly and after significant rainfall. Repair the slope promptly if necessary.

Re-anchor any loosened blankets or replace missing matting and staples as required.

- GENERAL NOTES**
- The Contractor shall be responsible for planning, coordinating and performing the work of protecting the project and the adjoining properties from soil erosion and siltation by constructing berms, silt fences, diversion ditches, settling basins, etc., as they become necessary to correct or prevent such problems (No direct payment unless noted otherwise).
  - Erosion of this site shall be controlled as follows:
    - Selective disturbance of the site will minimize possible erosion.
    - Diversion ditches & berms shall be placed around the site as needed to divert water away from the area of actual construction.
    - Techniques such as the use of haybales, silt fence, check dams, gravel filter berms, terraces, etc.
    - A settling basin may serve as a final method of preventing eroded material from leaving the site if necessary.
  - Should the Contractor fail to implement the necessary measures to control siltation /erosion on the site all construction activities shall be stopped until the appropriate measures are taken as directed by the Engineer or Local Authorities.
  - To maintain erosion control measures the Contractor shall:
    - Inspect all control measures at least daily and following any storm event
    - Repair any defects noted within 24 hours of report.
    - Sediment buildup shall be closely monitored at silt fences, sediment basins, etc. and removed accordingly.
    - Diversion dikes and swales shall be inspected and repaired as necessary.
    - Temporary and permanent seeding and planting areas will be inspected for bare spots, washouts & healthy growth.
  - Silt fence, hay bales, rip-rap and other control measures will be used as necessary during construction to help prevent silt from leaving the site.
  - All disturbed areas will be seeded and mulched after grading and clearing is completed.

**LARRY E. SPEARS & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
LAND SURVEYORS  
504 HARRISON STREET  
MONTGOMERY, AL 36104  
TEL: (205) 862-1091

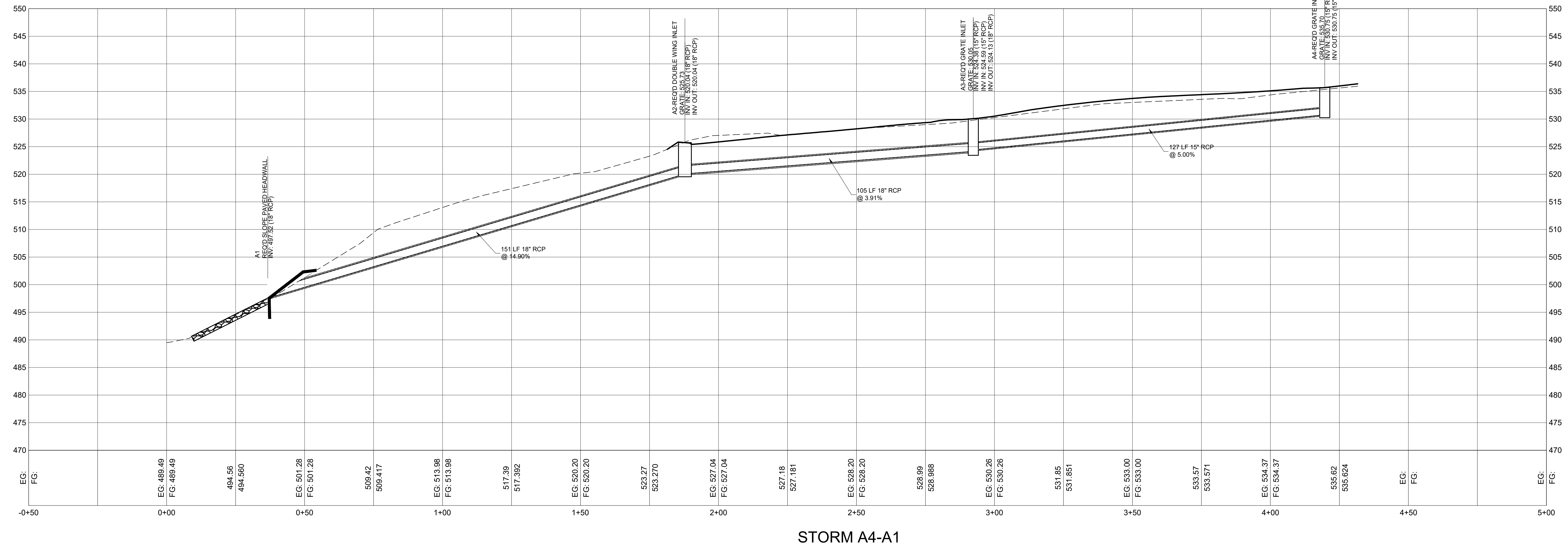
**WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA**

NO.	DATE	DESCRIPTION

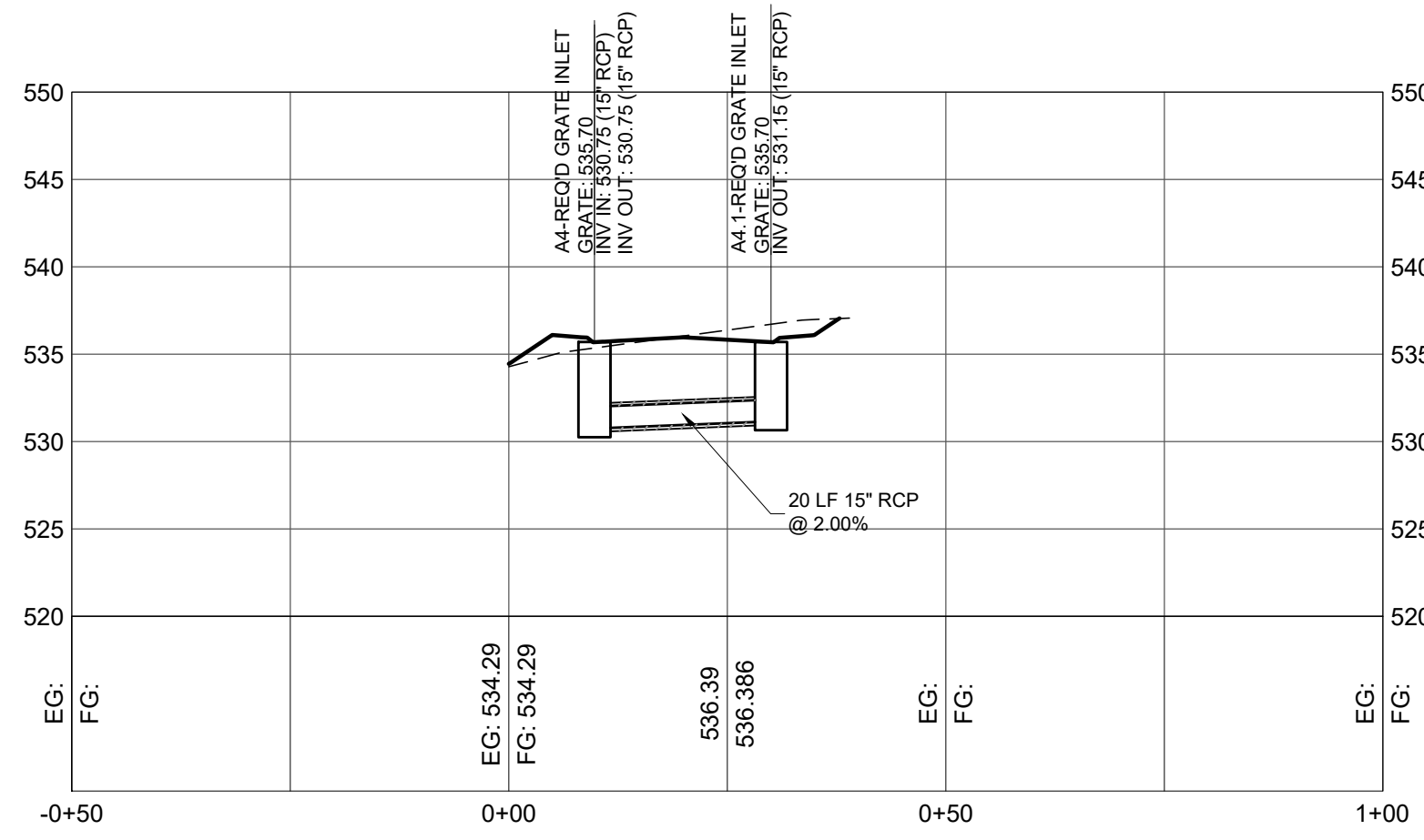
Project No.:	18109A
Dwg Name:	CE-GRAIDING PLANDWG
Drawn By:	AMW
Reviewed By:	CBM
Date Issued:	07/27/2023

**EROSION CONTROL DETAILS**

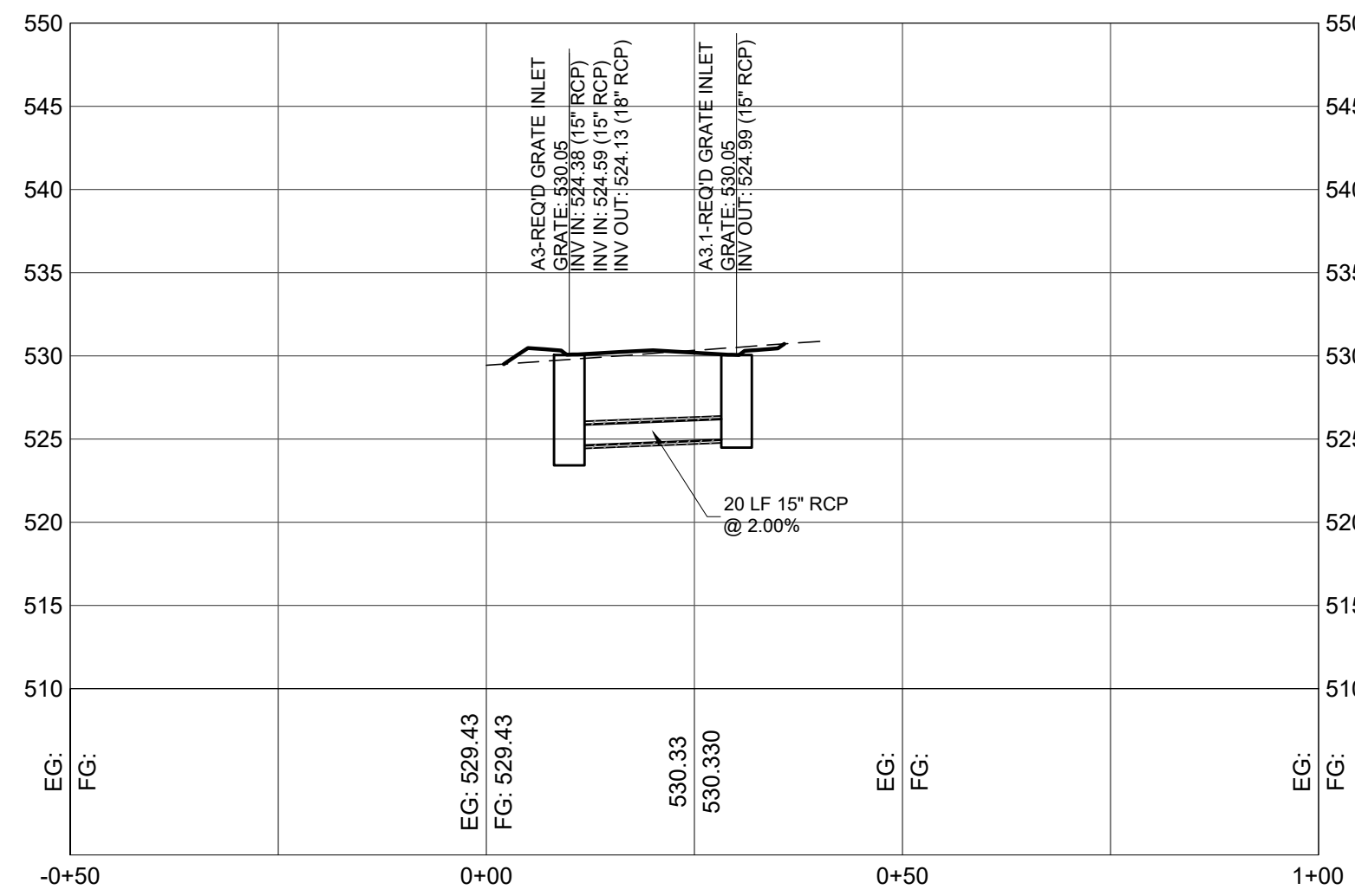




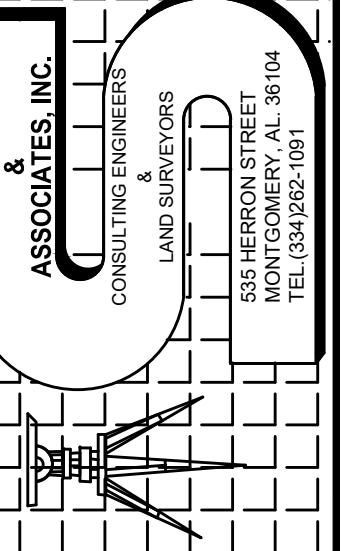
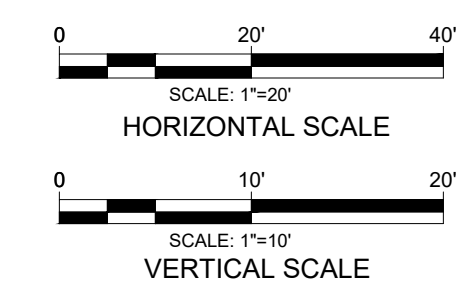
STORM A4-A1



STORM A4.1-A4



STORM A3.1-A3



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

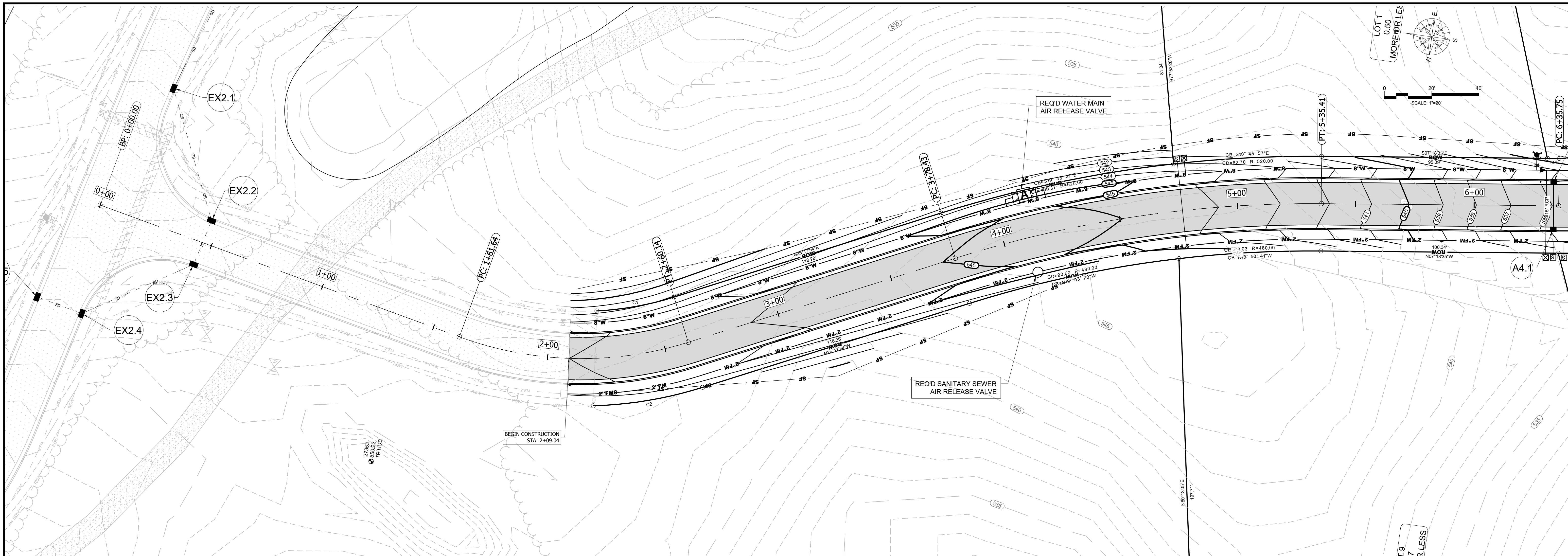
No.	DATE	DESCRIPTION

Project No.:	18109A
Dwg Name:	C3-GRAIDING PLAN/DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**STORM PIPE PROFILES**

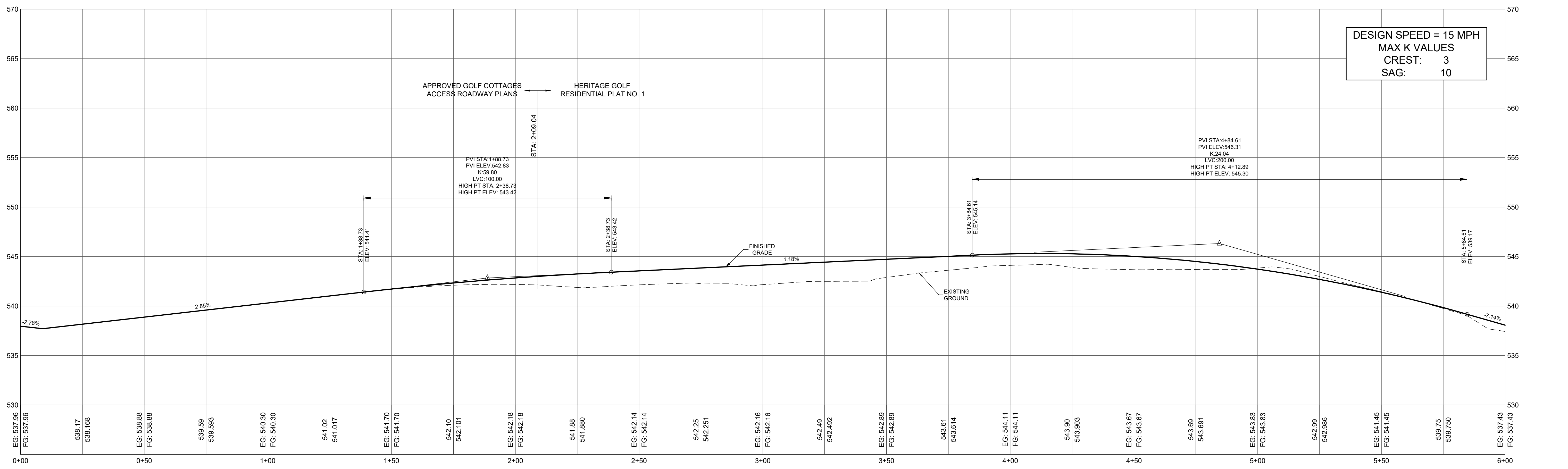
SHEET

**C3.5**



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 LAND SURVEYORS  
 524 HERMON STREET  
 MONTGOMERY, AL 36104  
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**WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA**



**REVISIONS**

No.	DATE	DESCRIPTION

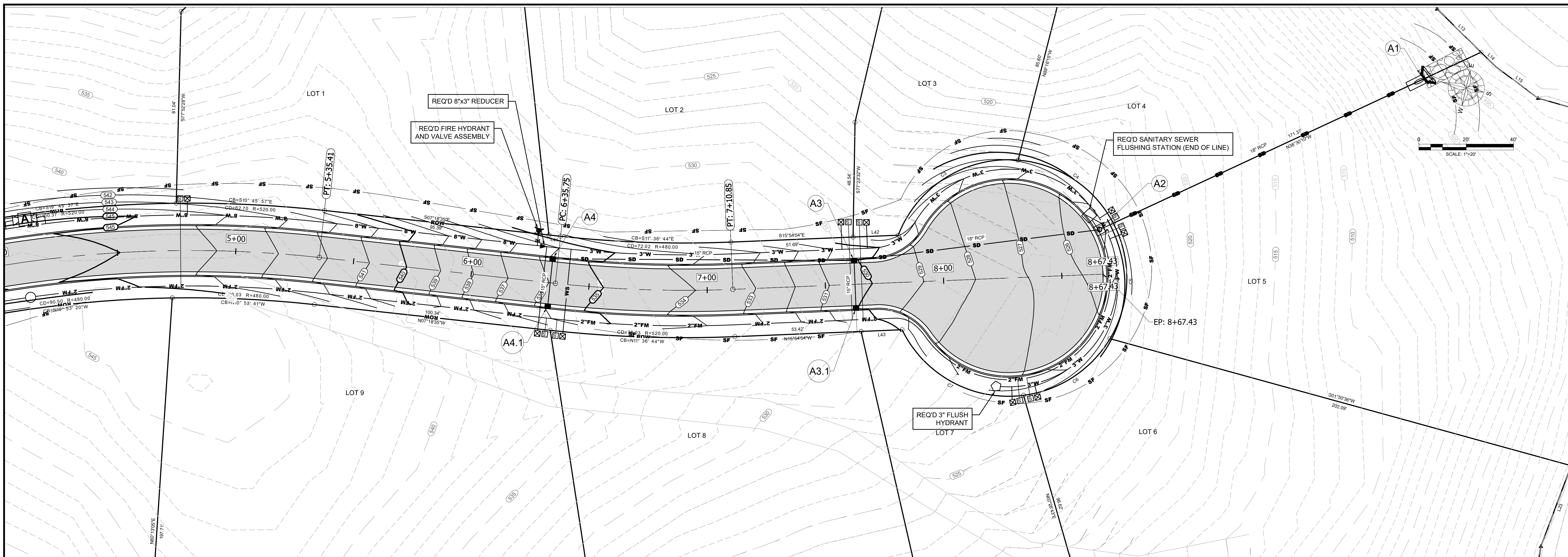
Project No.: 18109A  
 Draw Name: C4 - PLAN/PRO.DWG  
 Drawn By: T. SMITH  
 Reviewed By: CBM  
 Date Issued: 07/27/2023

**DRAWING TITLE:**  
 ROADWAY  
 PLAN / PROFILE

SHEET

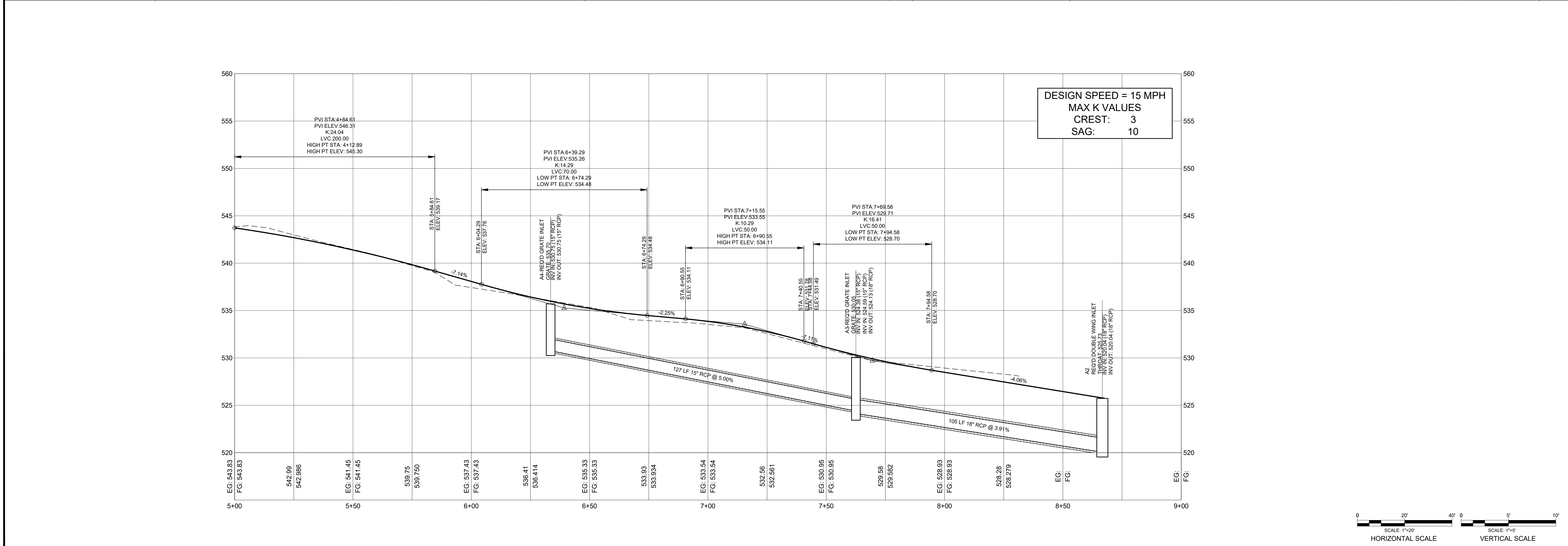
**C4.1**





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**WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA**

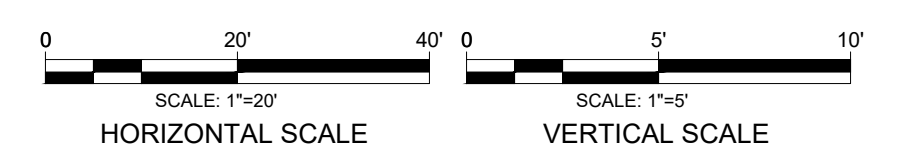


REVISIONS	
No.	DESCRIPTION

Project No.:	18109A
Dwg Name:	C4 - PLANPRO.DWG
Drawn By:	T-20/H/T/BAW
Checked By:	CBM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:  
**ROADWAY  
 PLAN / PROFILE**

SHEET  
**C4.2**





10

11

REQ'D CONNECTION TO EX 2" SANITARY FORCE MAIN AT EXISTING FLUSHING STATION

REQ'D CONNECTION TO EX 8" WATER MAIN

REQ'D SANITARY SEWER AIR RELEASE VALVE

REQ'D WATER MAIN AIR RELEASE VALVE

LOT 9  
1.07  
MORE OR LESS

LOT 1  
0.50  
MORE OR LESS

REQ'D  
1- HYDRANT TEE  
1- FIRE HYDRANT AND VALVE ASSEMBLY  
1- 8" X 3" REDUCER

LOT 8  
0.98  
MORE OR LESS

LOT 2  
0.84  
MORE OR LESS

REQ'D 3" FLUSH HYDRANT

LOT 3  
0.54  
MORE OR LESS

REQ'D SANITARY FLUSHING STATION

LOT 7  
1.07  
MORE OR LESS

LOT 6  
0.66  
MORE OR LESS

LOT 4  
0.43  
MORE OR LESS

LOT 5  
0.56  
MORE OR LESS

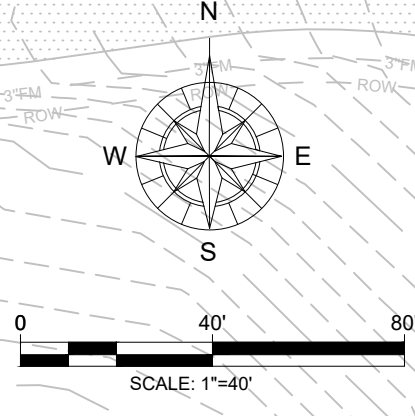
LAKE MARTIN  
(FULL POOL 491.0 M.S.L.)

**LEGEND**

- 8" W — 8" WATER MAIN
- 3" FM — 3" LOW PRESSURE SEWER FORCE MAIN
- 2" FM — 2" LOW PRESSURE SEWER FORCE MAIN
- ⊗ WATER METER
- ⬡ WATER 3" FLUSH HYDRANT
- ⊞ SANITARY SEWER SERVICE CONNECTION
- SANITARY SEWER FLUSHING STATION
- SANITARY SEWER AIR RELIEF VALVE

**NOTES:**

1. WATER SERVICE LATERALS TO BE 1" TYPE-K COPPER.
2. LONG SIDE SEWER AND WATER SERVICES TO BE IN 4" PVC ENCASMENT BELOW ROADWAY
3. MIN 1' SEPARATION BETWEEN ALL WATER AND SEWER SERVICE ENCASMENTS



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WICKER POINT GOLF COURSE  
 HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
 ALEXANDER CITY, ALABAMA

REVISIONS	
No.	DESCRIPTION

Project No.:	18109A
Dwg Name:	C5 - UTILITY PLANDWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

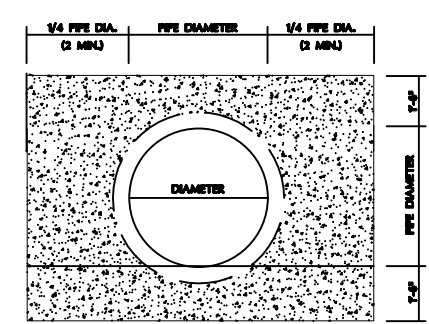
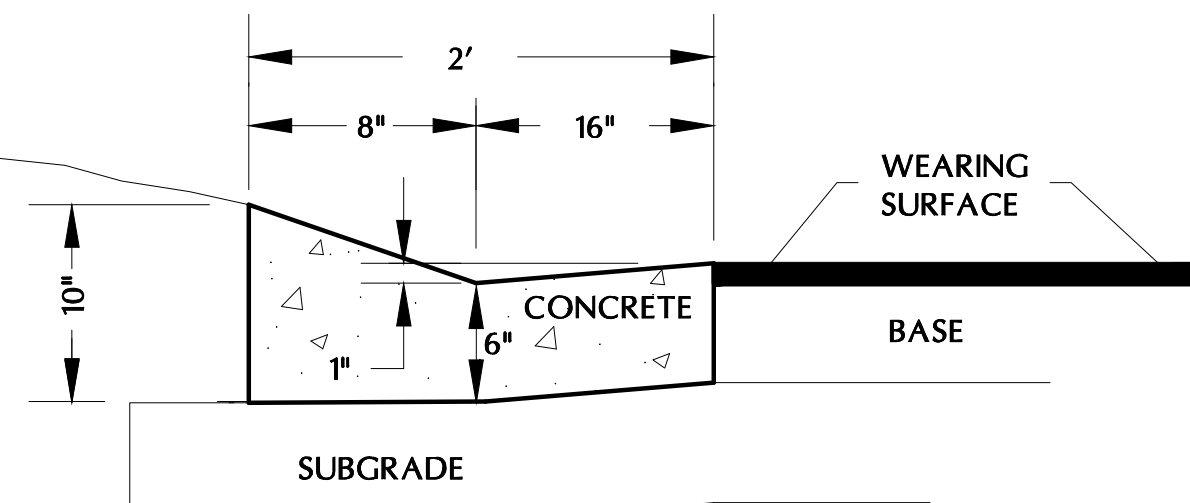
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**UTILITY PLAN**

SHEET

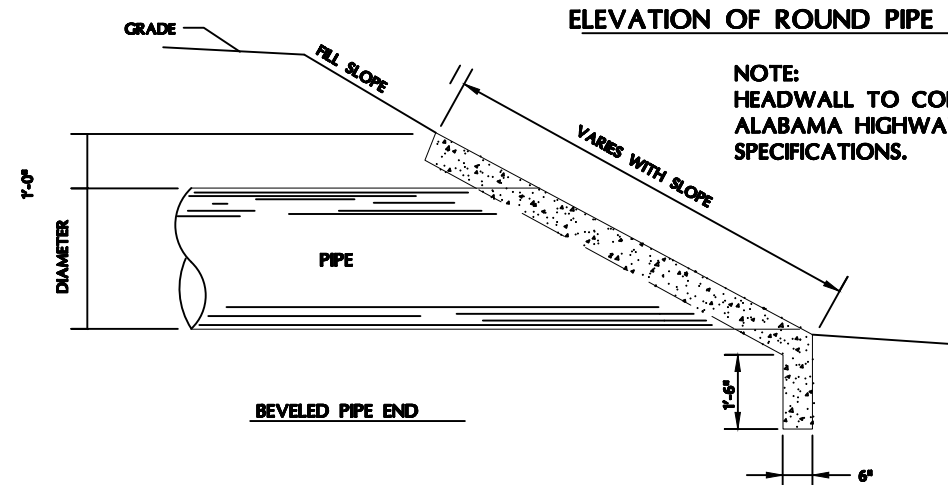
**C5.1**



### DRIVE-OVER CURB DETAIL



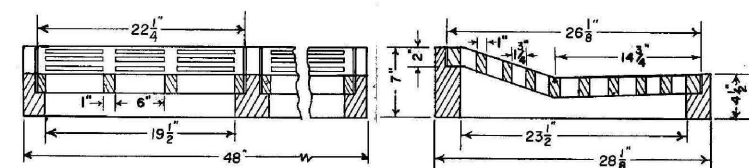
**ELEVATION OF ROUND PIPE HEADWALL**  
NOTE: HEADWALL TO CONFORM TO ALABAMA HIGHWAY DEPARTMENT SPECIFICATIONS.



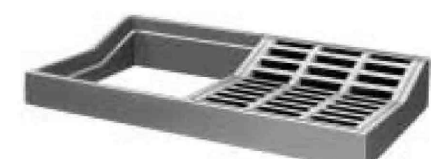
**SLOPE PAVED HEADWALL**  
NTS

### R-3516 Inlet Frames and Double Grate for Driveway and Mountable Curb

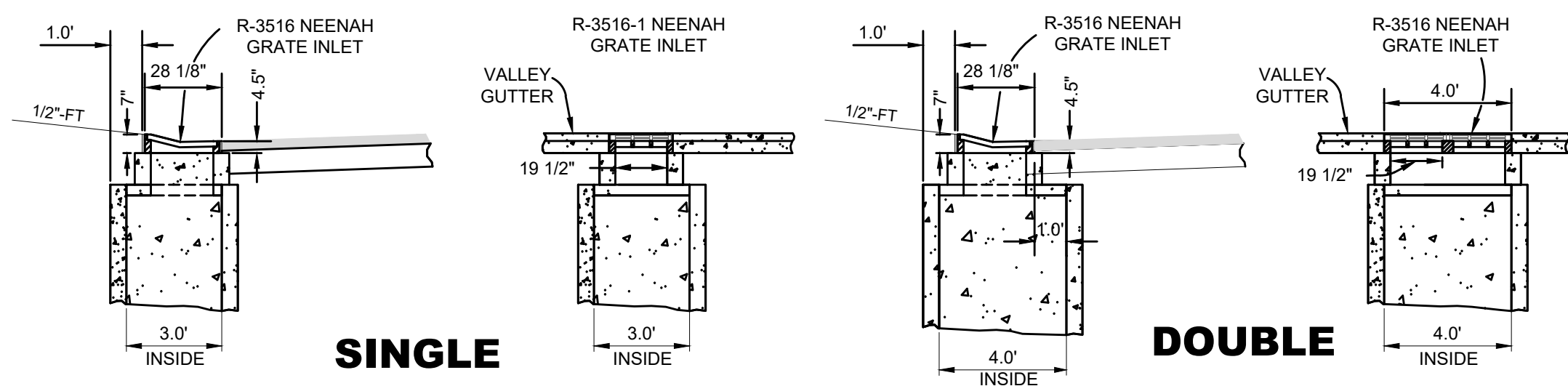
Heavy Duty



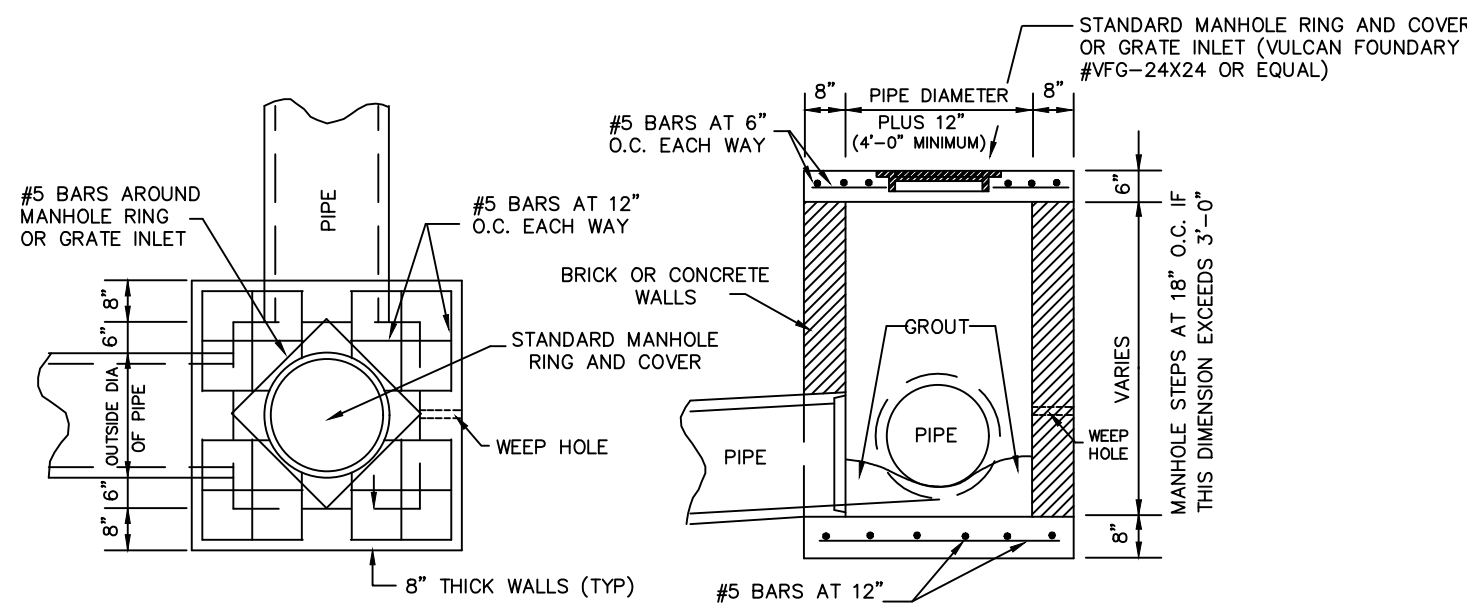
Front Section of R-3516 Double Unit, Side Section R-3516 and R-3516-1



Illustrating R-3516, double unit with one grate removed



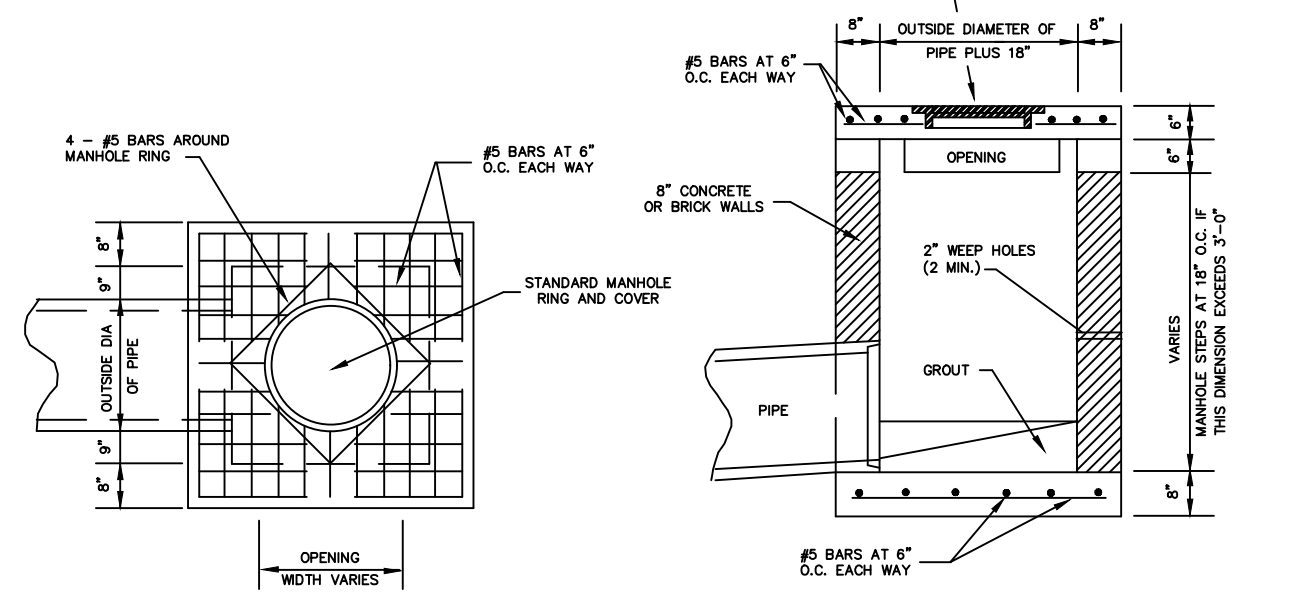
### GRATE INLET



NOTE: SIZE OF BOX SHALL BE TO ACCOMMODATE THE SPECIFIED GRATE PLUS 12" OR 4" X 4" WHICHEVER IS LARGER

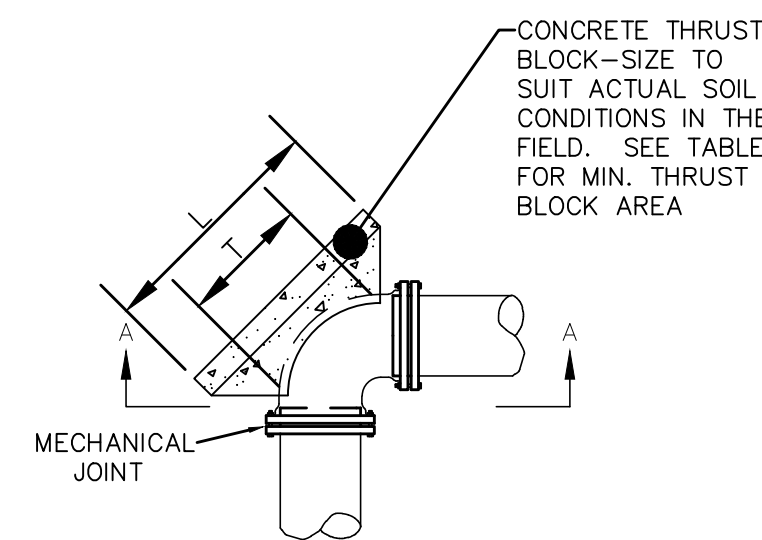
### JUNCTION BOX

NTS



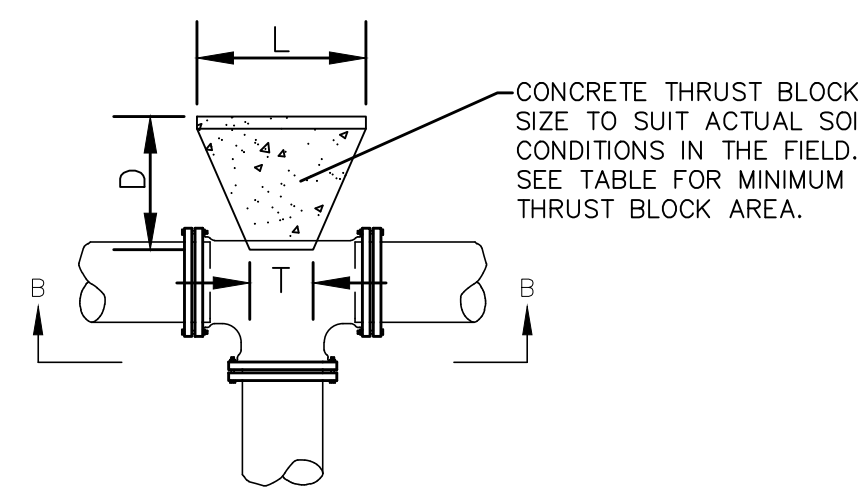
### OPEN THROAT INLET

NTS



**SECTION A-A**

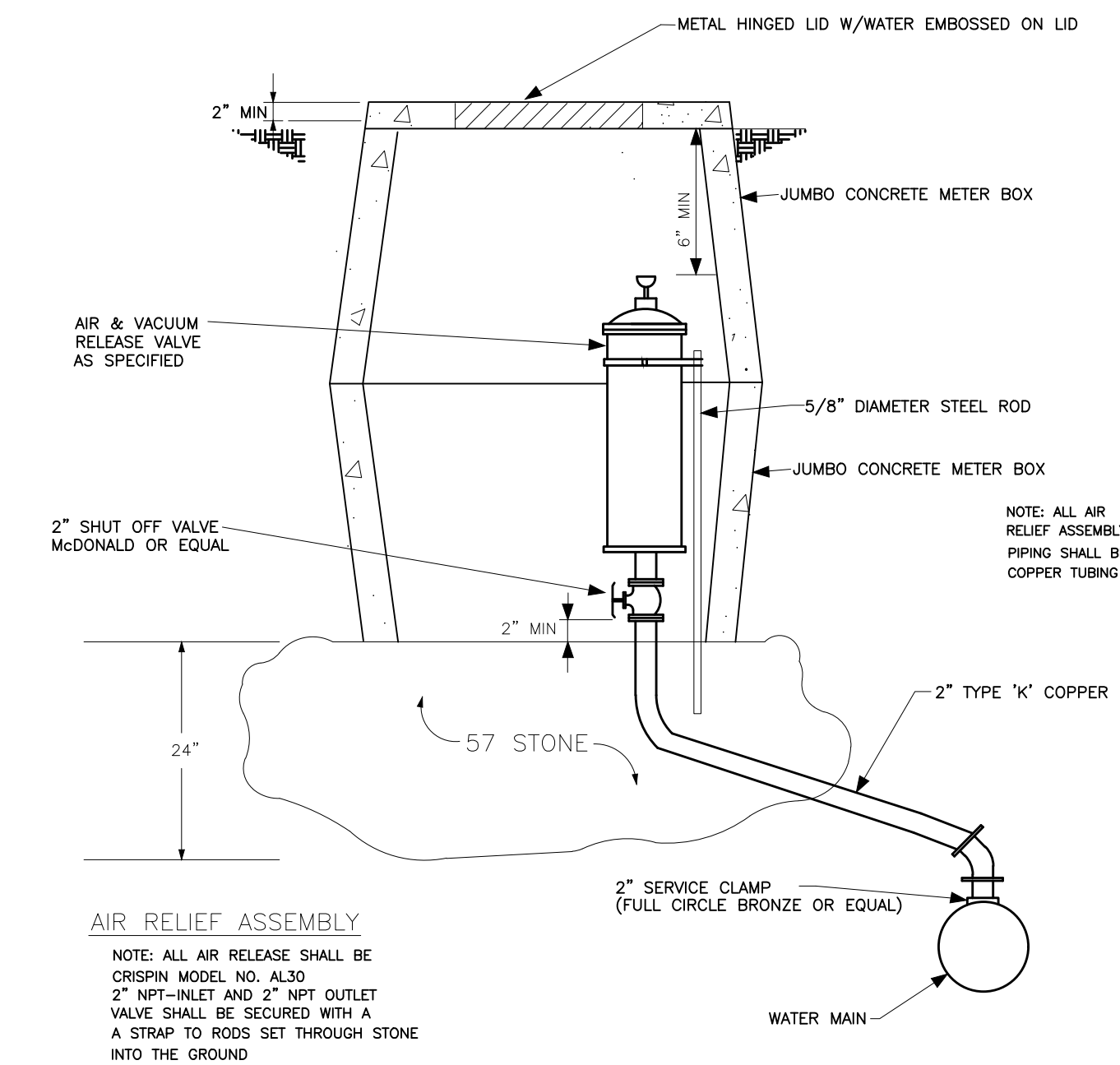
DETAIL "D"  
TYPICAL THRUST BLOCK FOR BENDS



**SECTION B-B**

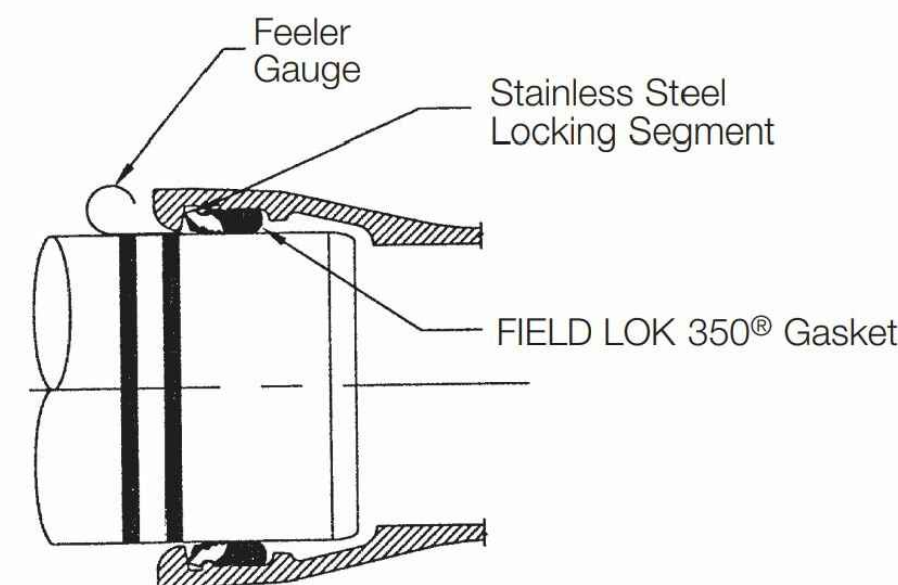
DETAIL "E"  
TYPICAL THRUST BLOCK FOR TEES

### THRUST BLOCK DETAILS



### AIR RELEASE VALVE ASSEMBLY

NTS



NOTES:  
1. FOR USE THROUGH STEEL ENCASEMENT CROSSINGS ONLY  
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS

### US PIPE FIELD LOK 350

NTS

### NOTES:

- THRUST BLOCK SHALL BEAR AGAINST UN-DISTURBED SOIL.
- LOCATION OF THRUST BLOCK INSTALLATION SHALL BE DETERMINED IN THE FIELD.

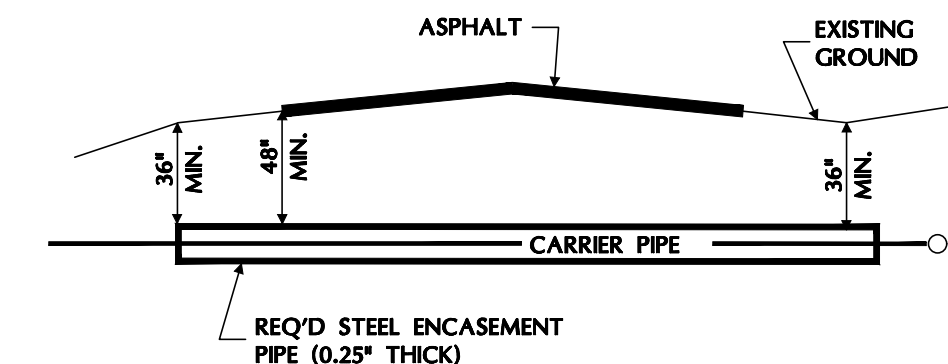
MINIMUM THRUST BLOCK AREA SQ. FT. (L(FT.) X H(FT.))			
DIAMETER PIPE LINE IN INCHES	90° BENDS	TEES, DEAD ENDS, OR 45° BENDS	22 1/2° BENDS
UP TO 6"	3.0	2.2	1.0
8"	5.5	4.0	1.5
10"	8.5	6.0	2.5
12"	12	9.0	3.5
16"	22	12	6.0

45° BEND - 22 1/2° BEND								
SIZE	3"	6"	8"	10"	12"	16"	18"	20"
D	6"	6"	6"	6"	6"	6"	8"	8"
L	12"	18"	20"	22"	24"	34"	40"	45"
W	12"	12"	14"	16"	18"	22"	25"	28"
T	8"	16"	16"	18"	18"	28"	33"	37"

90° BEND								
SIZE	3"	6"	8"	10"	12"	16"	18"	20"
D	6"	8"	10"	12"	12"	12"	16"	20"
L	18"	24"	27"	30"	34"	48"	51"	54"
W	12"	12"	14"	20"	24"	28"	34"	40"
T	8"	16"	18"	20"	22"	36"	40"	44"

TEE								
SIZE	3"	6"	8"	10"	12"	16"	18"	20"
D	8"	8"	10"	12"	12"	12"	16"	38"
L	12"	18"	18"	22"	27"	28"	30"	46"
W	12"	12"	16"	20"	24"	28"	34"	48"
T	8"	12"	12"	16"	18"	20"	22"	24"

PLUG - REDUCER								
SIZE	3"	6"	8"	10"	12"	16"	18"	20"
D	12"	18"	24"	30"	30"	30"	30"	30"
L	12"	18"	24"	30"	30"	48"	48"	48"
W	12"	18"	18"	24"	24"	30"	30"	48"
T	8"	12"	12"	12"	12"	12"	18"	24"

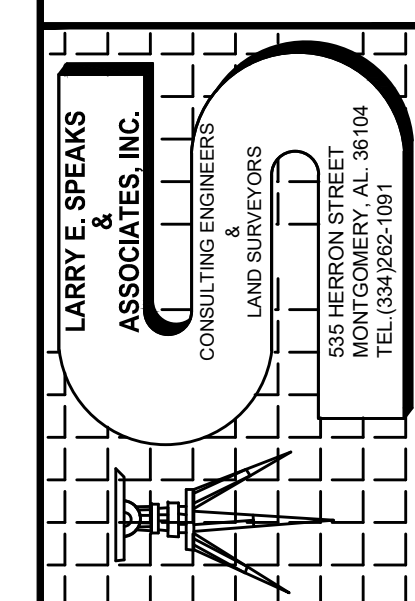


### ENCASEMENT PIPE PROFILE

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO ENCASEMENT PIPE INSTALLATION.

### GENERAL NOTES:

- ALL MATERIALS AND THEIR INSTALLATION SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE CITY OF ALEXANDER CITY WATER DEPARTMENT.
- ALL REQUIRED WATER LINES SHALL BE DUCTILE IRON CLASS 50.
- ALL PIPE FITTINGS SHALL BE MECHANICAL JOINT (DI), DESIGNED FOR A PRESSURE RATING OF 250 PSI PER AWWA C110. ALL FLANGES ARE TO BE THE MEG-A-LUG TYPE.
- ANCHOR COUPLINGS ARE REQUIRED FOR FIRE HYDRANTS.
- THRUST BLOCKS SHALL BE PLACED AT ALL BENDS, TEES, DEAD ENDS, ETC... SEE WATER DETAILS FOR MINIMUM THRUST BLOCK AREA.
- ALL UTILITY LINE TRENCHES SHALL BE BACKFILLED AND COMPACTED IN 6" LIFTS TO AT LEAST 95% STANDARD DENSITY PER ASTM D-698.
- ALL WATER LATERALS THAT CROSS ROADWAYS ARE REQUIRED TO HAVE PVC ENCASEMENT PIPE.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND EQUIPMENT FURNISHED AND WORK PERFORMED FOR ONE (1) YEAR FROM THE DATE OF COMPLETION. THE CONTRACTOR SHALL REPAIR ALL DEFECTIVE WORK DURING THE GUARANTEE PERIOD.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF ALEXANDER CITY WATER DEPARTMENT FOR INSPECTION OF ALL PHASES OF CONSTRUCTION AND PRIOR TO BACKFILLING ANY WORK.
- THE CONTRACTOR SHALL HYDROSTATICALLY TEST (MINIMUM 200 PSI AT LOW POINT) ALL NEW WATER MAINS WHICH SHALL BE DOCUMENTED BY A CHART FOR THE DURATION OF THE TEST AND SUBMITTED TO THE CITY OF ALEXANDER CITY WATER DEPARTMENT.
- THE CONTRACTOR SHALL FLUSH, DISINFECT, AND HAVE BACTERIOLOGICAL TESTING CONDUCTED ON ALL NEW WATER MAINS. TEST RESULTS OF BACTERIAL SAMPLES SHALL BE SUBMITTED TO THE CITY OF ALEXANDER CITY WATER DEPARTMENT.



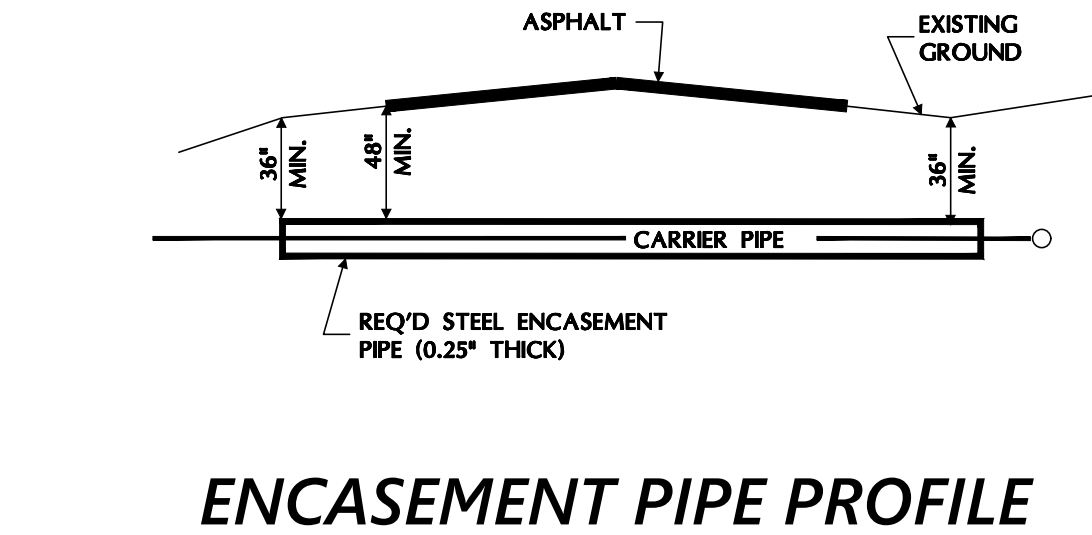
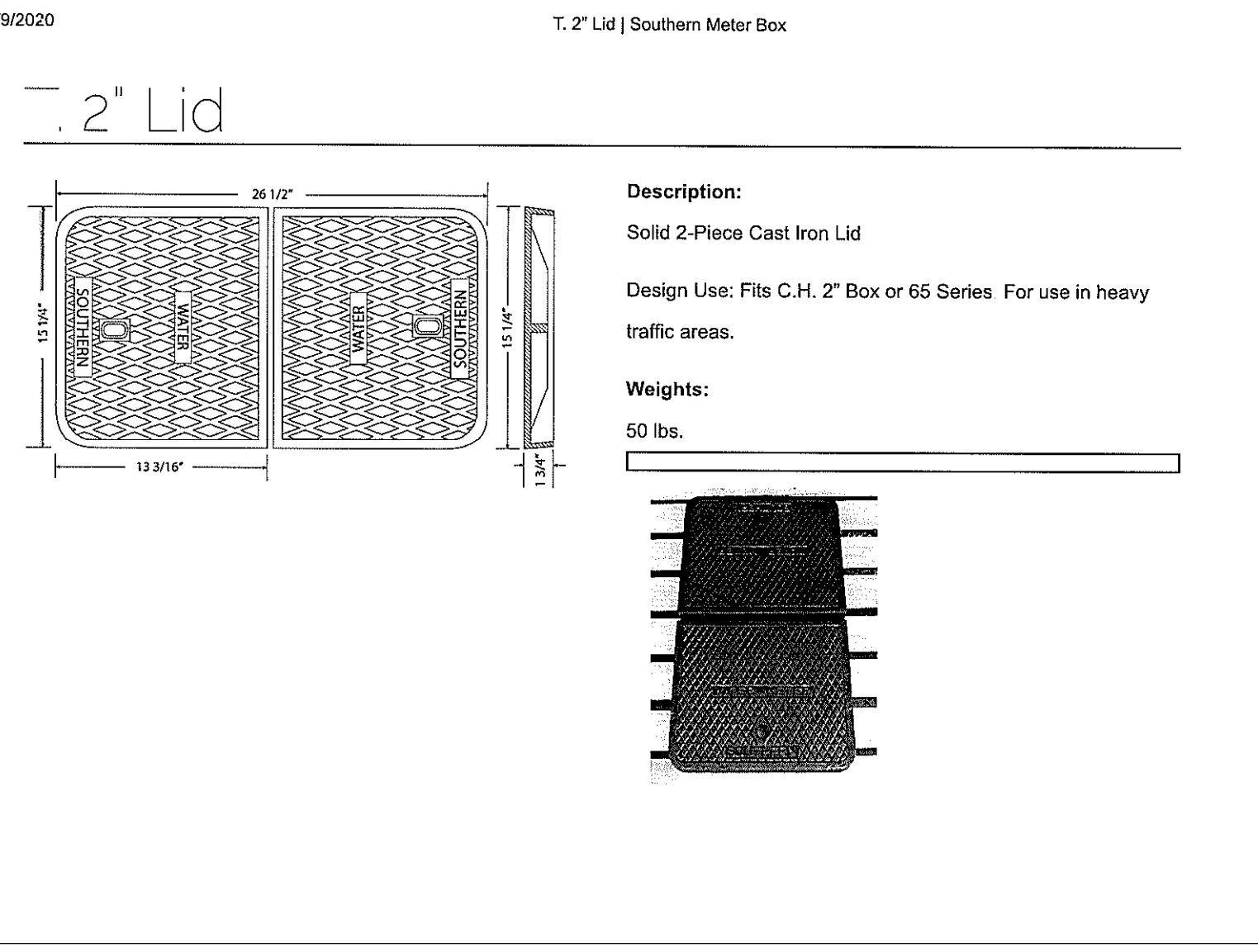
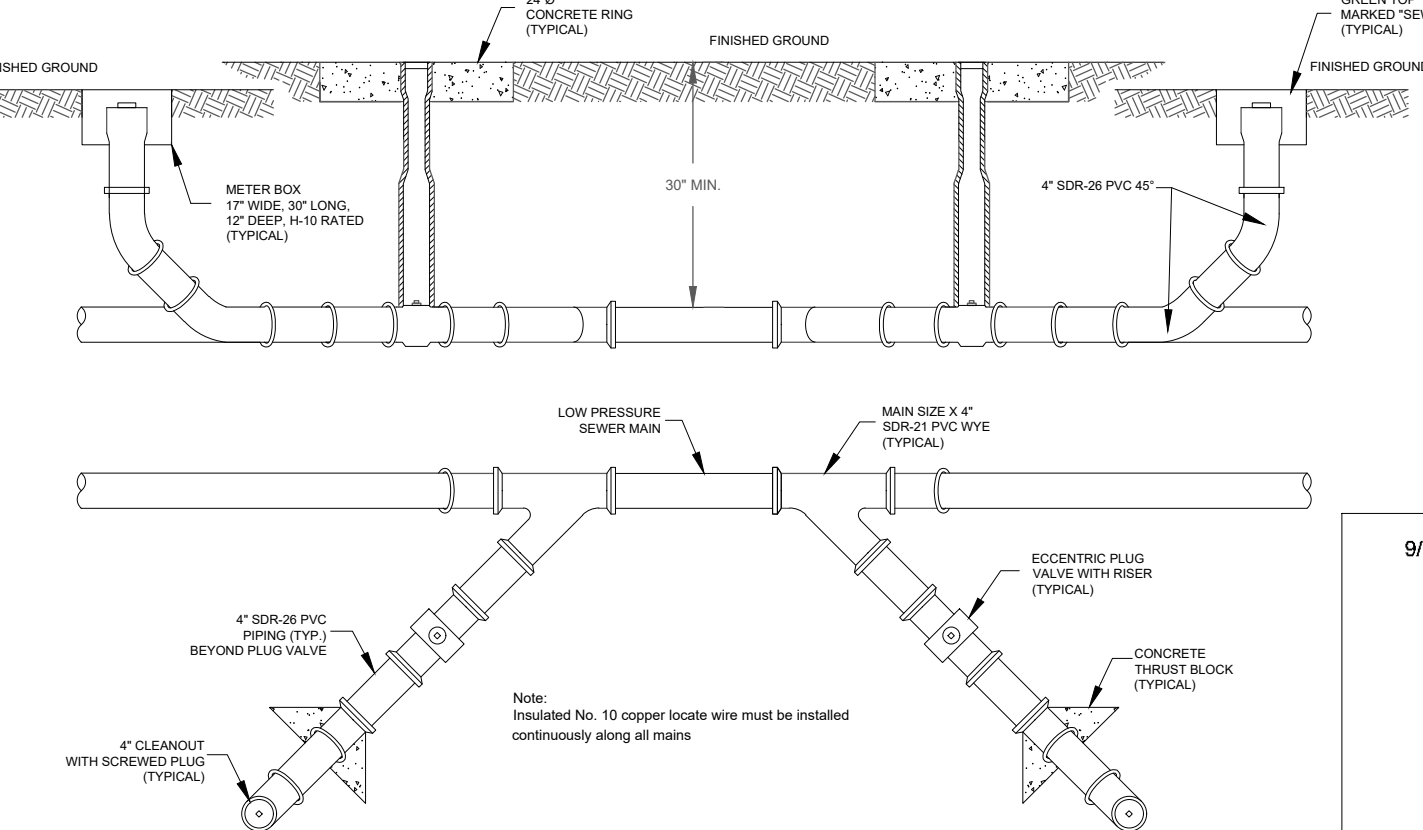
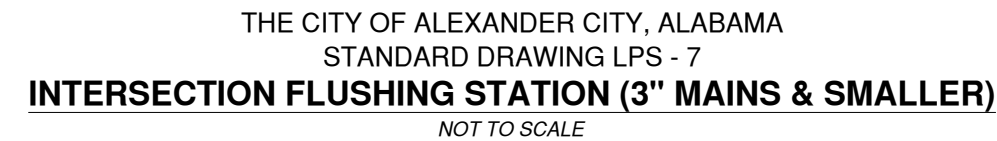
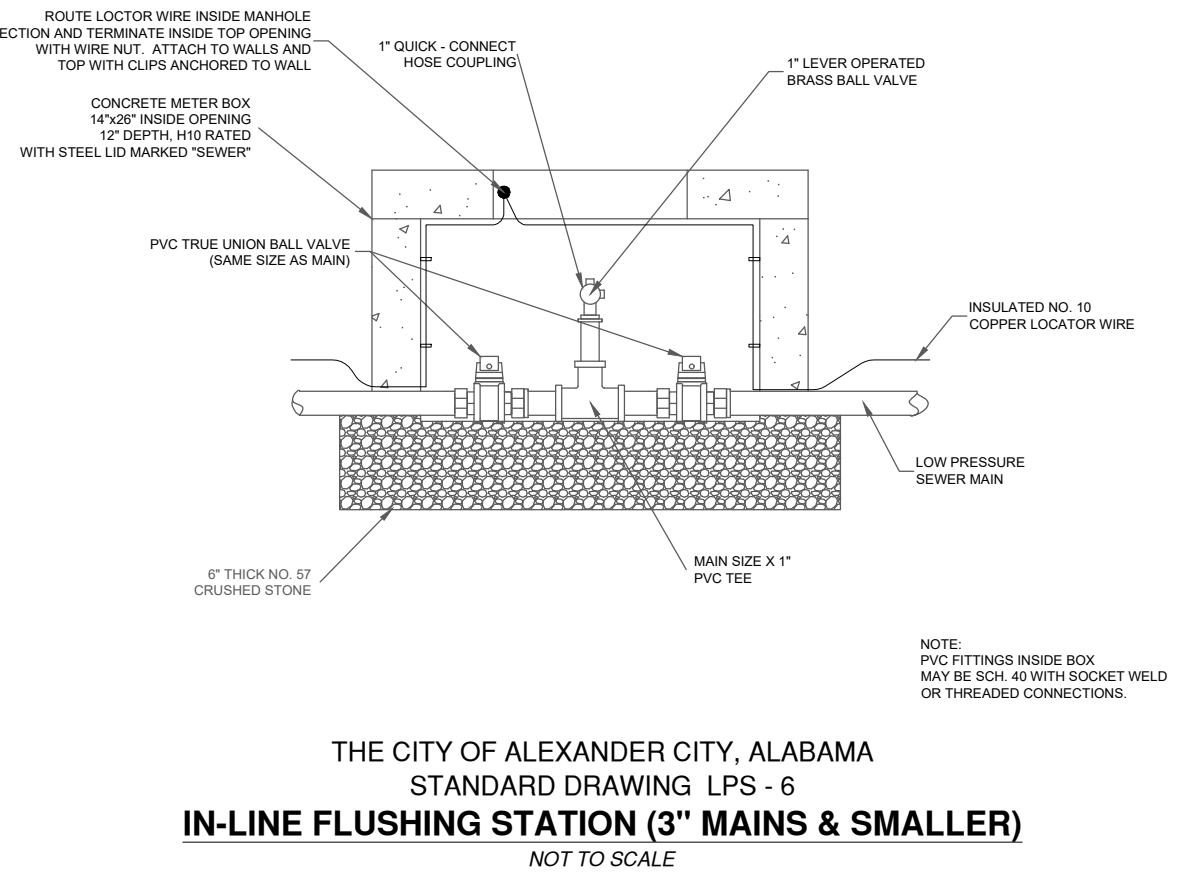
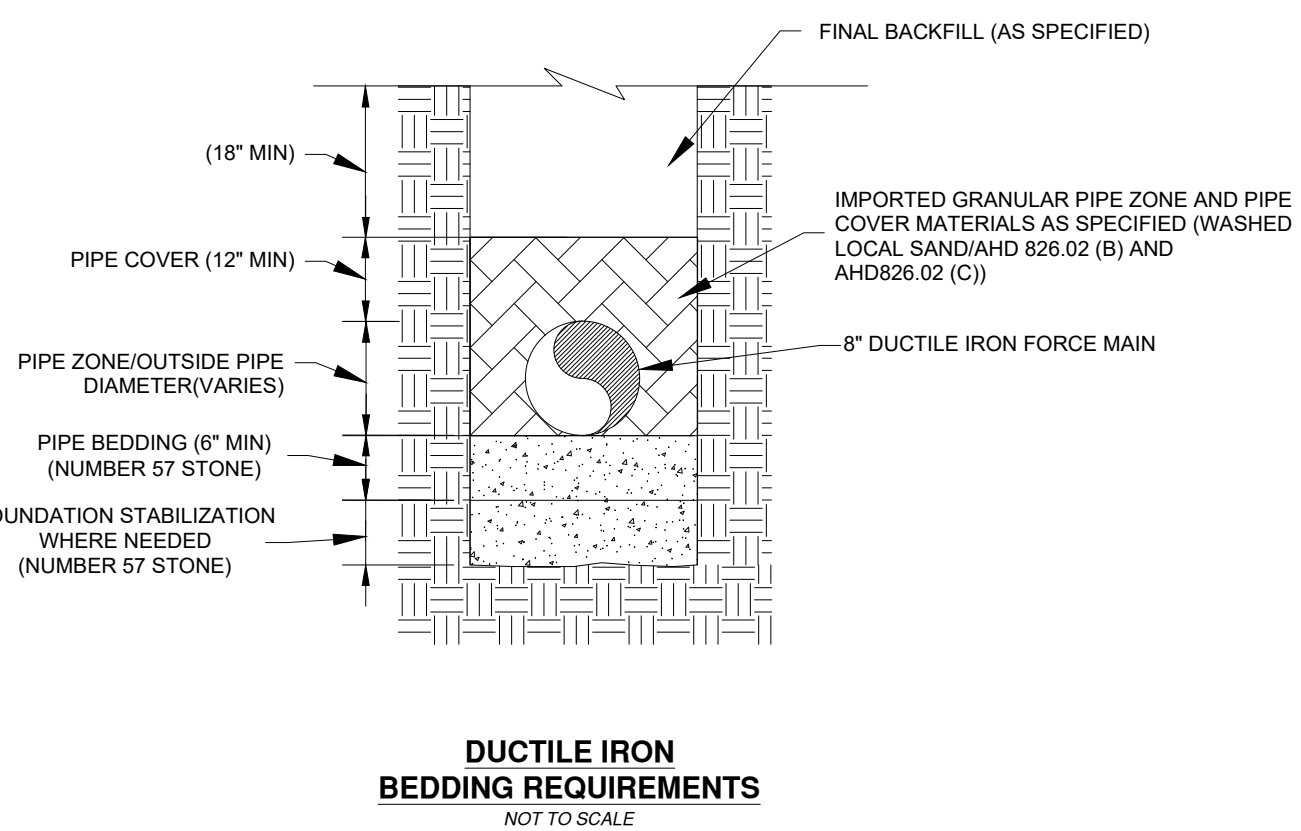
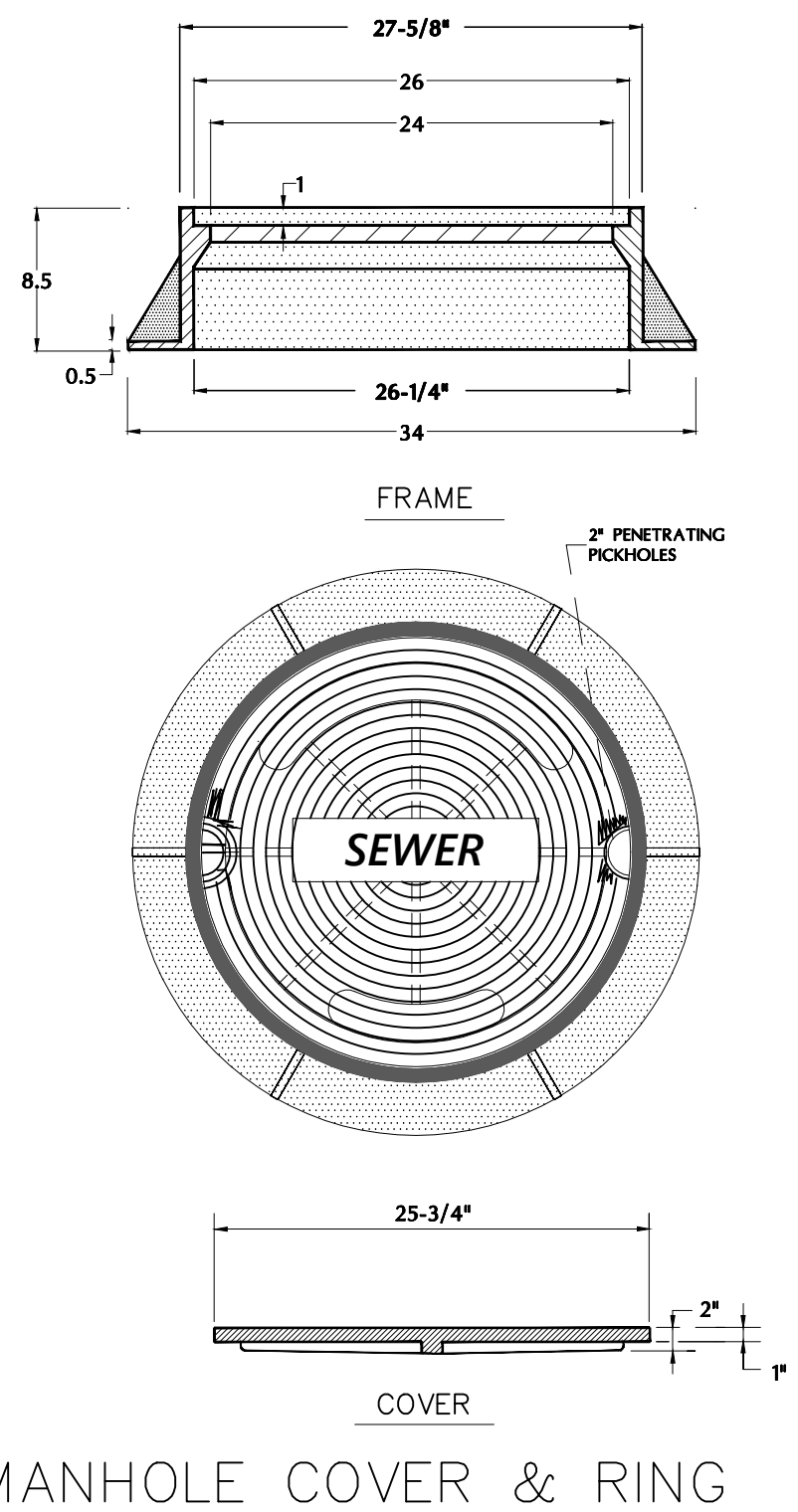
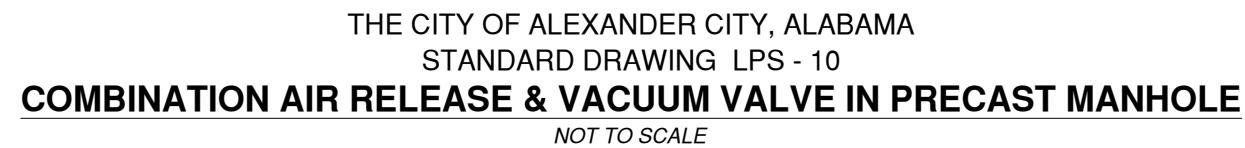
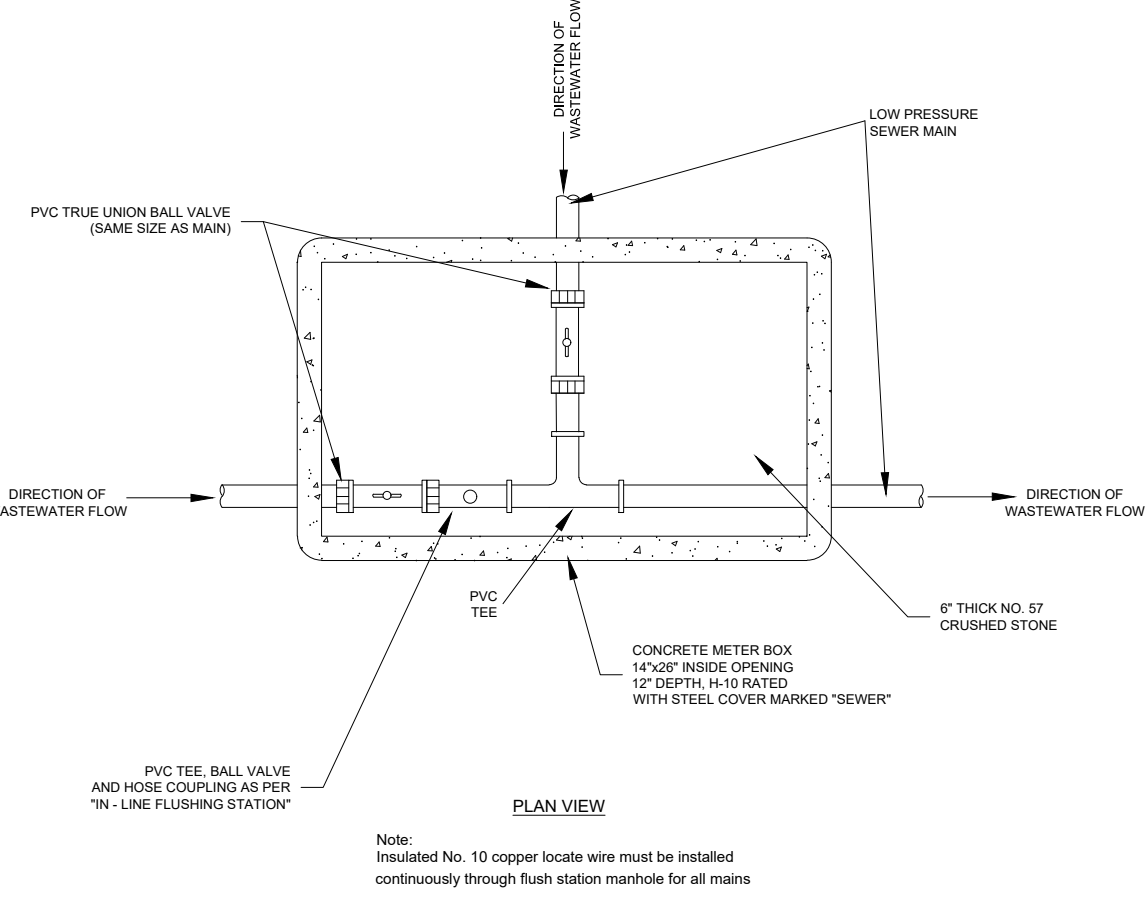
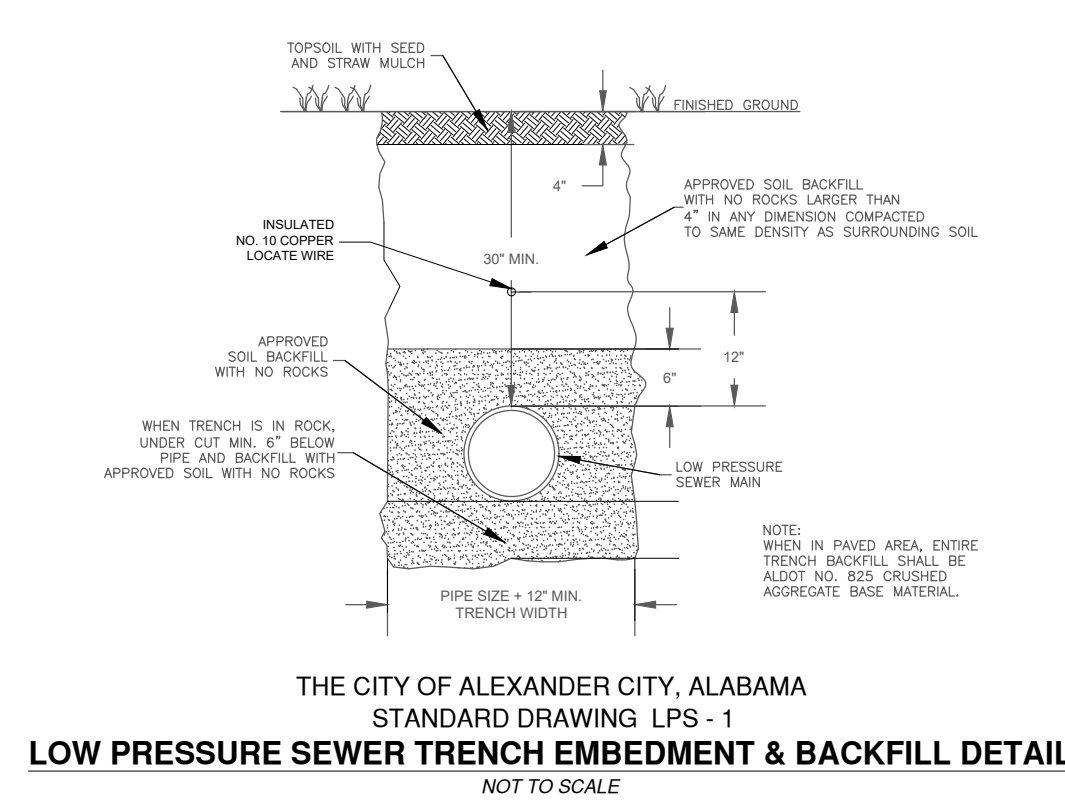
WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

REVISIONS	DESCRIPTION	DATE
No.		

Project No.: 18109A  
Drawn By: AMW  
Checked By: CBM  
Reviewed By: 07/27/2023  
Date Issued:

DRAWING TITLE: MISCELLANEOUS DETAILS  
SHEET C6.1

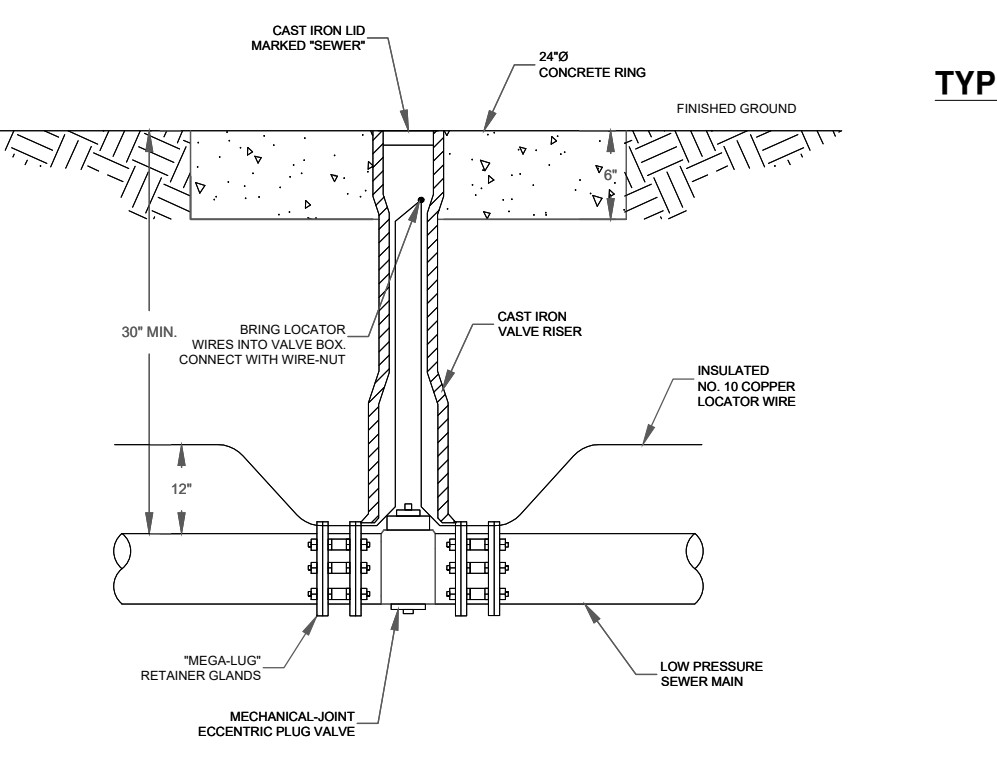




THE CITY OF ALEXANDER CITY, ALABAMA  
STANDARD DRAWING LPS - 2  
**THRUST BLOCK**  
NOT TO SCALE

PIPE SIZE	4" AND SMALLER	6"	8"	10"	12"
TEES, 90° BENDS & ELBOWS	1'-0"	1'-0"	2'-0"	2'-0"	3'-0"
45° BEND	1'-0"	1'-0"	2'-0"	2'-0"	2'-0"
22 1/2° BEND	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
11 1/4° BEND	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"

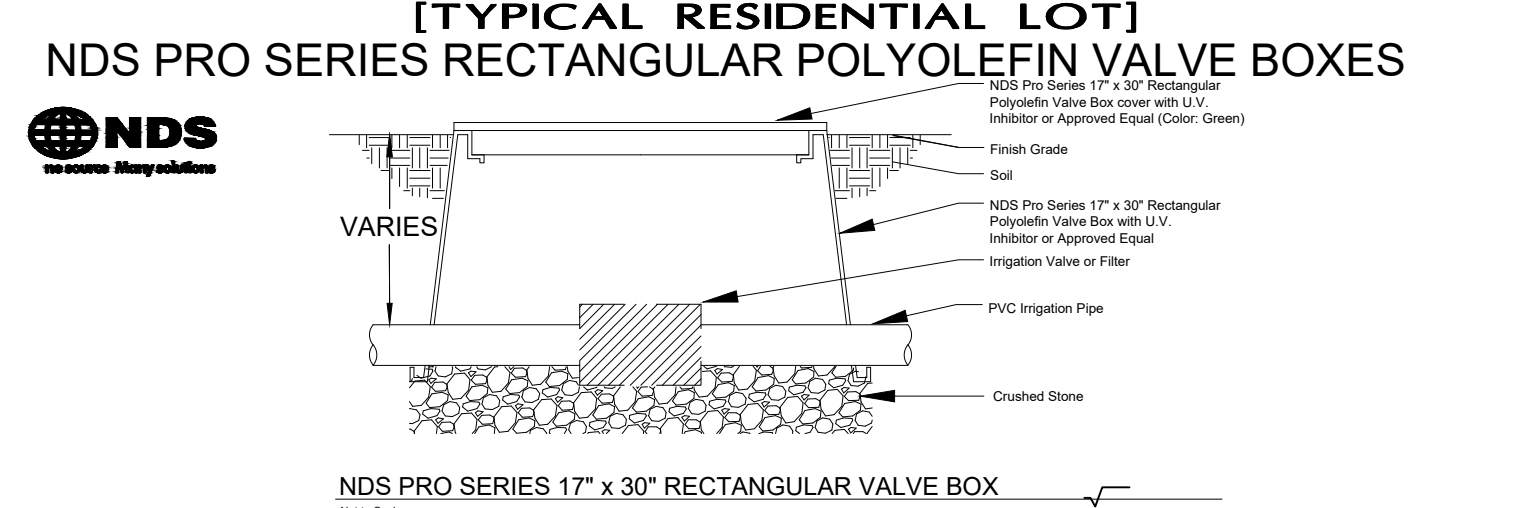
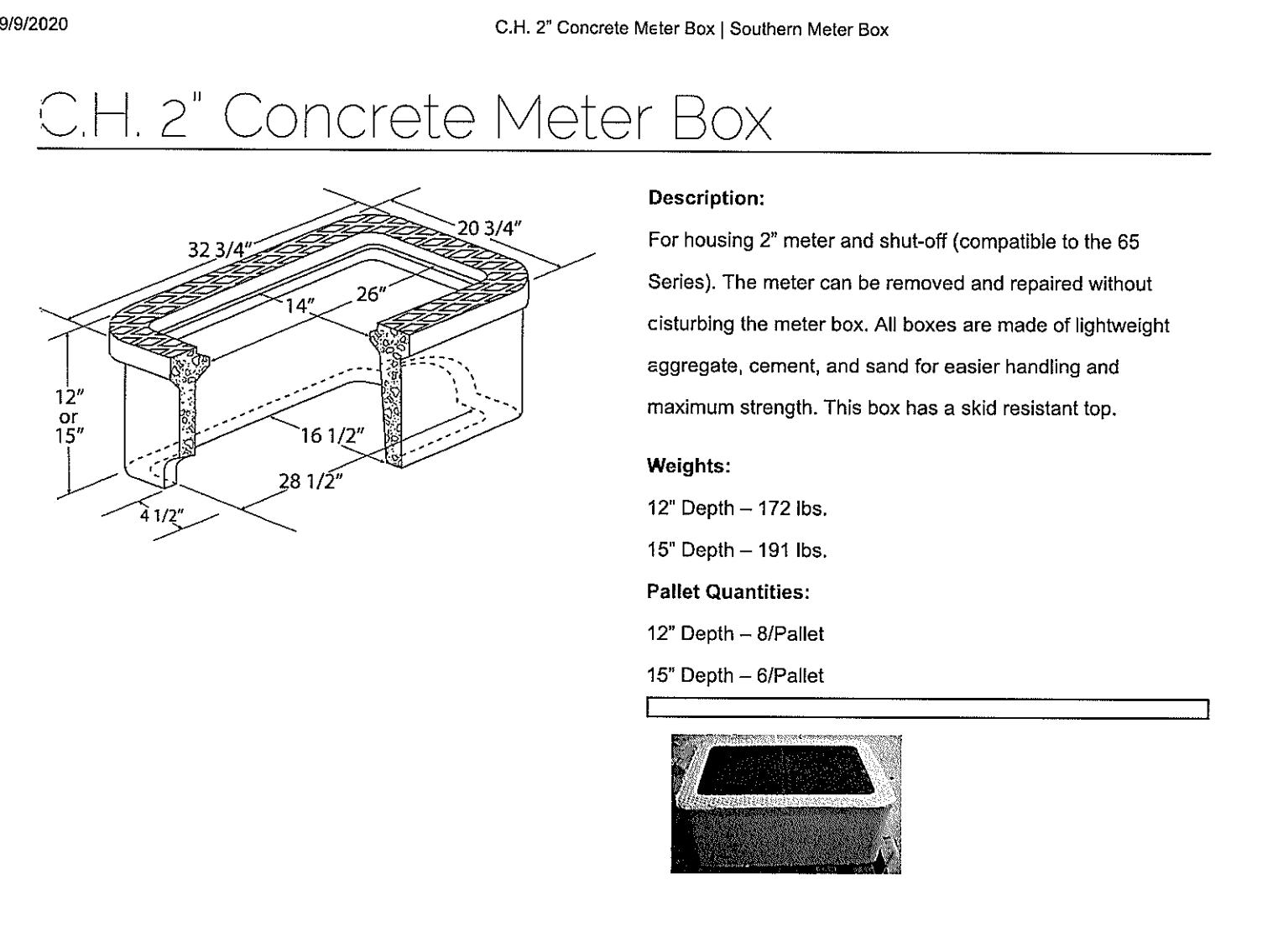
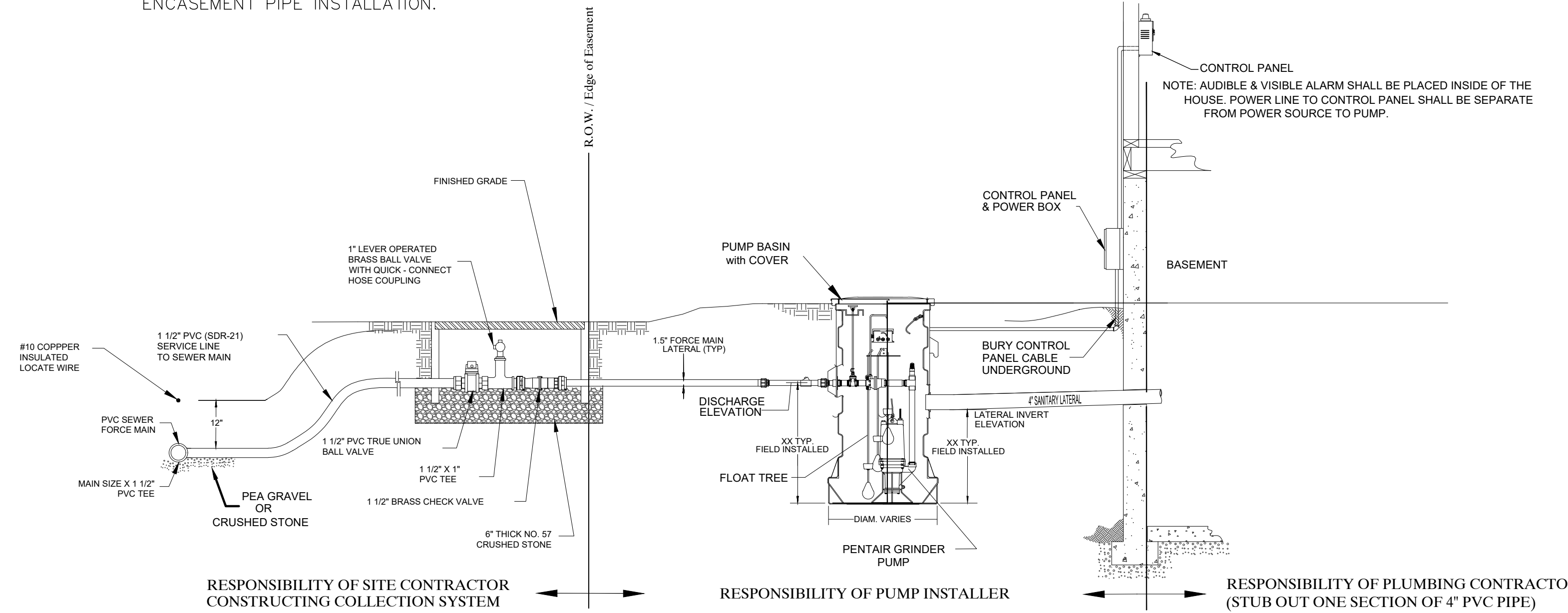
(TEST PRESSURE 150 PSI) AND SOIL BEARING PRESSURE



**SEWER FORCE MAIN NOTES**

- All materials and their installation shall meet the requirements of the Engineer. All force mains <math>2" </math> shall be SDR 21 / Class 200 PVC. All force mains 2" or larger and service laterals shall be SCH 40 P.V.C Pipe shall be green colored indicating sanitary sewer lines.
- Thrust blocks shall be placed on all force main pipe lines at all bends, tees, dead ends, etc.
- Prior to beginning construction, the Contractor shall have all existing utility lines located. (Alabama Lines Location Center 1-800-292-8525).
- The contractor shall notify the Engineer for inspection of all phases of construction and prior to backfilling any work.
- The Contractor shall provide the Engineer with as built drawings indicating the location of all air relief valves, tees, clean out and flushing stations, services, etc. (noted on blue line drawings).
- All disturbed areas shall be graded, dressed, fertilized and seeded according to Section 652 (Seeding of A.D.O.T Standard Specifications (Bermuda)).
- The Contractor shall be responsible for planning, coordinating and performing the work of protecting the project and the adjoining properties from soil erosion and siltation by constructing berms, nets, etc. as they become necessary to correct or prevent such problems.
- The Owner will require testing of the sewer main before final approval of the project will be given.
  - Pressure and Leakage Test: Test system in accordance with AWWA C-600-05. Repair leaks and retest.
- After completion of the pipeline installation, including all backfill other than pipe joints, fittings, valves and appurtenances, but prior to final connection to existing system, conduct, in presence of operations manager for Bioflow, Inc., concurrent hydrostatic pressure and leakage tests.
  - Contractor shall provide equipment to perform leakage and hydrostatic tests.
  - Test Pressure: Not less than 100 psi or 150% of maximum operating pressure, whichever is greater.
  - Conduct hydrostatic test for at least a six-hour duration.
  - No pipeline installation will be approved when visible leakage is observed regardless of the test results.
- Before initiating test procedures and applying test pressure, completely expel air from section of piping under test. Provide corporation cocks so air can be expelled as pipeline is filled with water. After air has been expelled, close corporation cocks and apply test procedure. A conclusion of tests, remove corporation cocks removed and plug resulting pipe openings.
- Slowly bring piping to test pressure and allow system to stabilize prior to conducting test. Do not open or close valves at differential pressures above rated pressure.
- Examine exposed piping, fittings, valves or joints discovered, following pressure test.
- No pipeline installation will be approved when leakage is greater than that determined by the following formula:
 
$$L = \frac{SD \sqrt{P}}{133,200}$$

L = allowable leakage, in gallons per hour  
S = length of pipe tested, in inches  
D = nominal diameter of pipe, in inches  
P = average test pressure during leakage test, in pounds per square inch. (gauge)
- When leakage exceeds specified acceptable rate, locate source and main repairs. Repeat test until specified leakage requirements are met.
- Request inspection immediately after placing bedding.
- When tests indicate Work does not meet specified requirements, remove work, replace, and retest.



**LARRY E. SPEARS & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
LAND SURVEYORS  
501 ALABAMA STREET  
MONTGOMERY, AL 36104  
TEL: (205) 882-1091

WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

**REVISIONS**

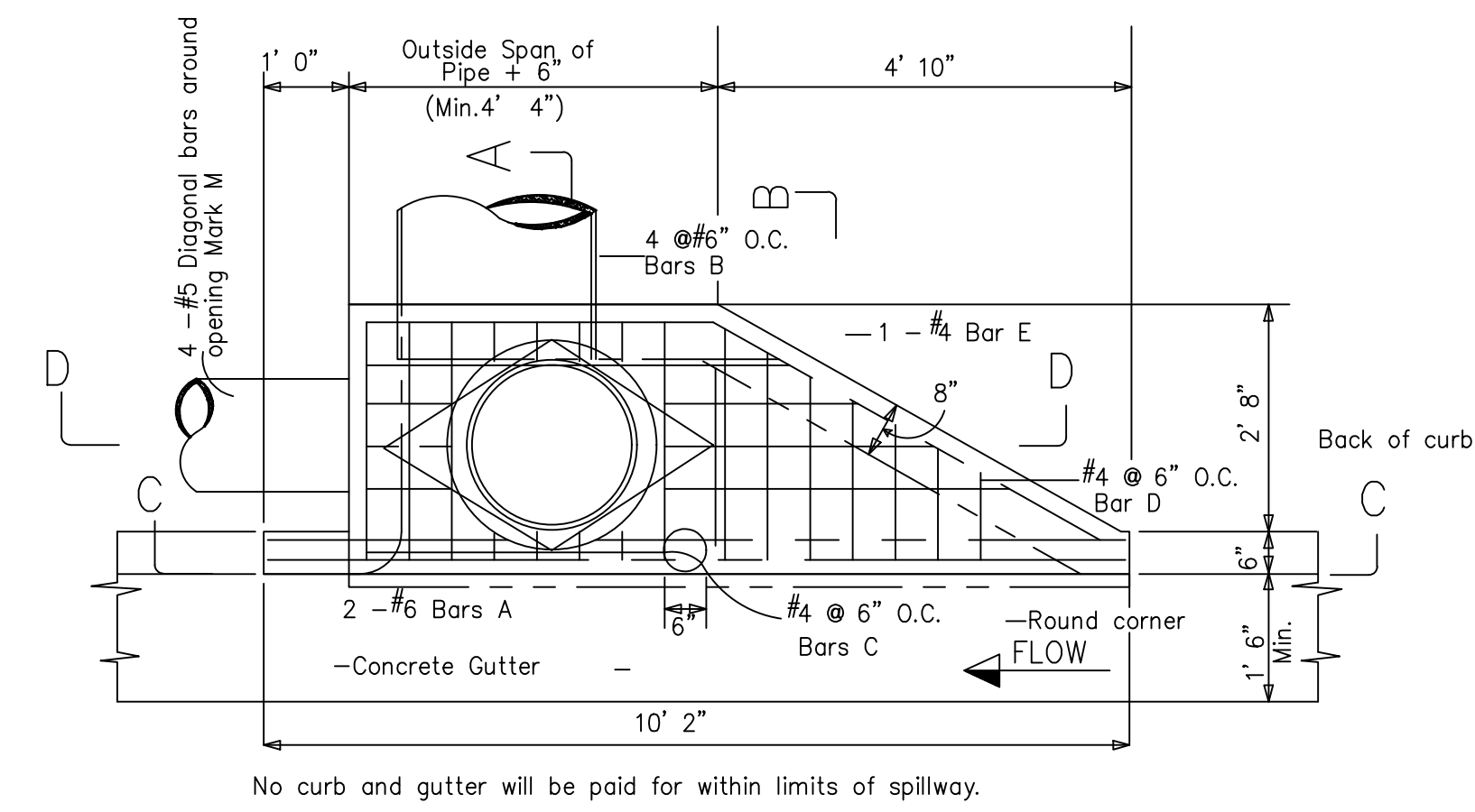
No.	DATE	DESCRIPTION

**DRAWING TITLE:** LOW-PRESSER SEWER DETAILS

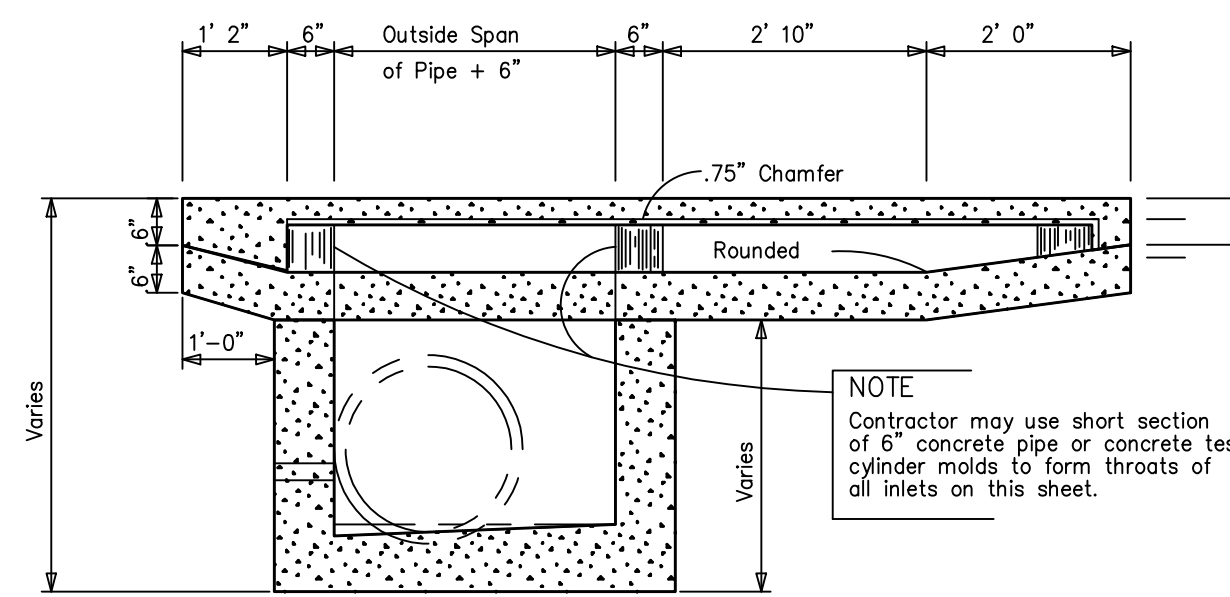
Project No.:	18109A
Dwg Name:	C6-DETAILS.DWG
Drawn By:	AMM
Checked By:	CBM
Reviewed By:	
Date Issued:	07/27/2023

SHEET  
**C6.2**

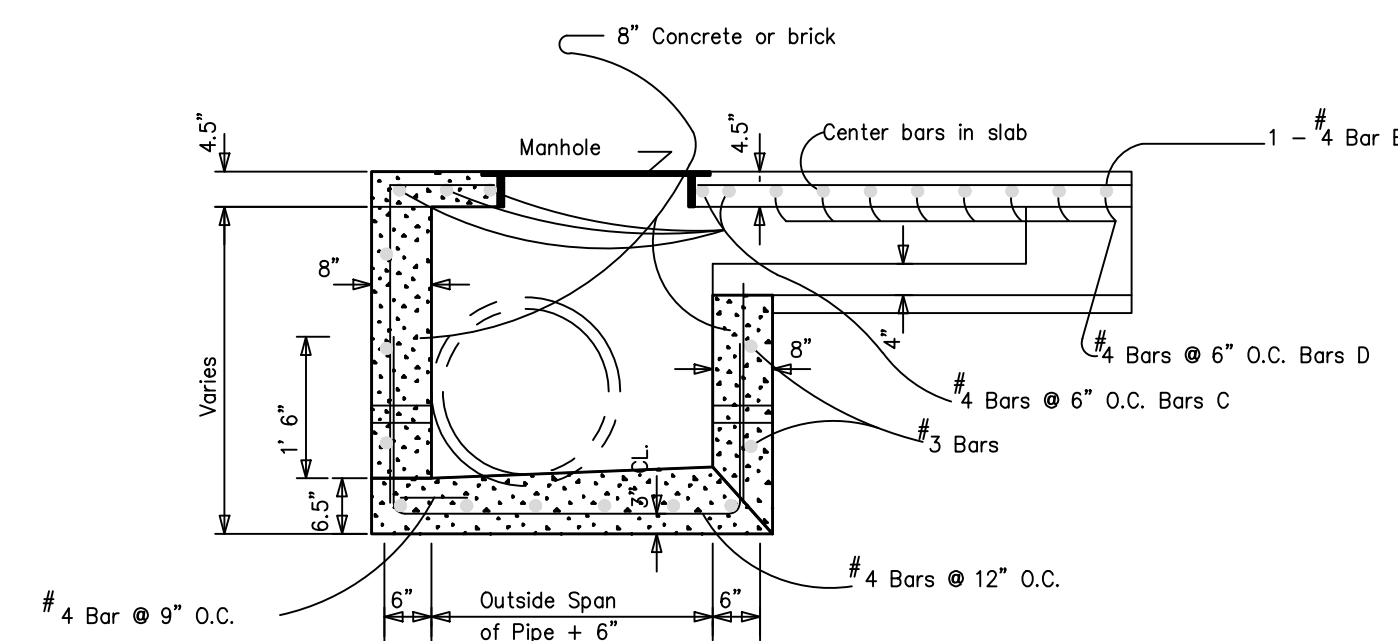




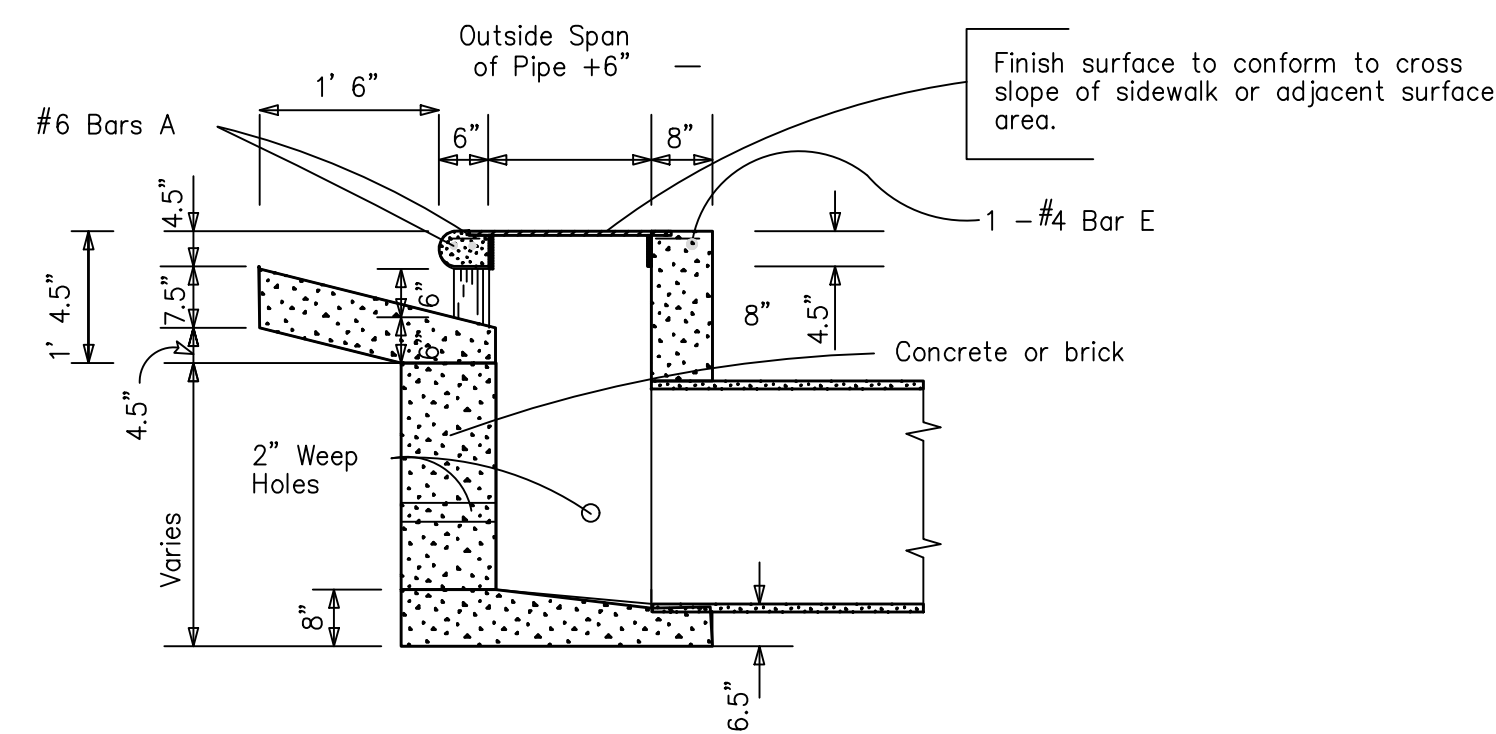
PLAN - TYPE A



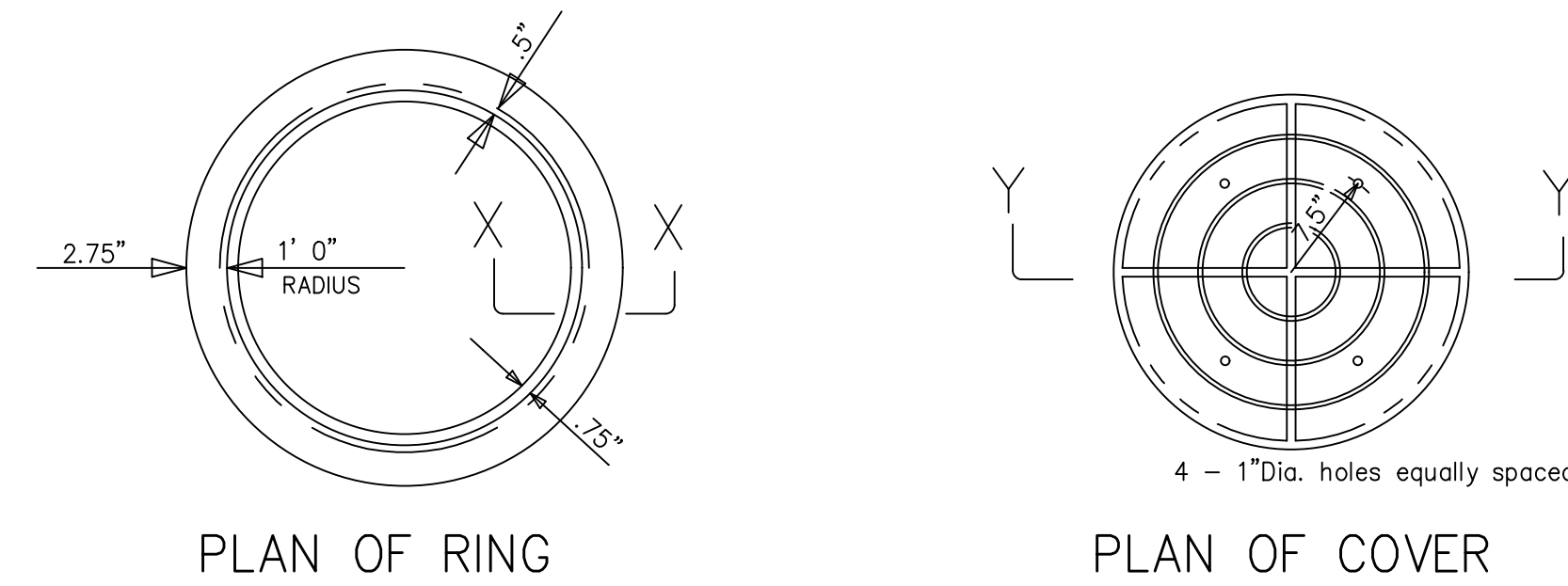
SECTION C - C TYPE A



SECTION D - D TYPE A

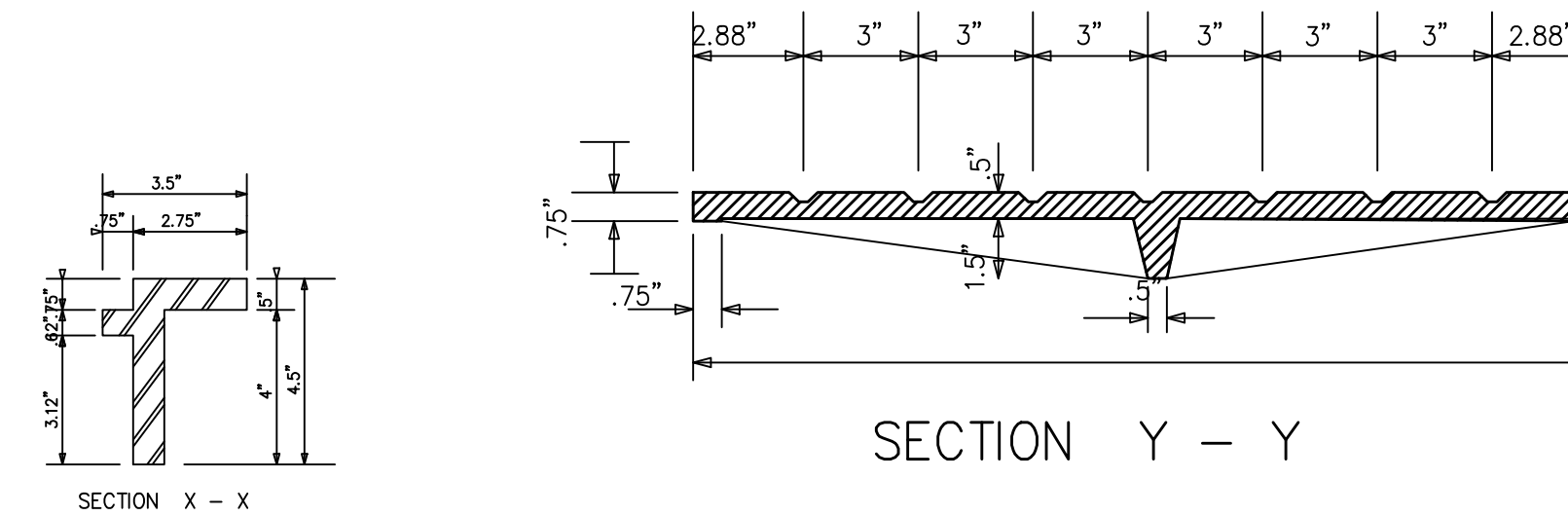


SECTION A - A TYPE A AND B



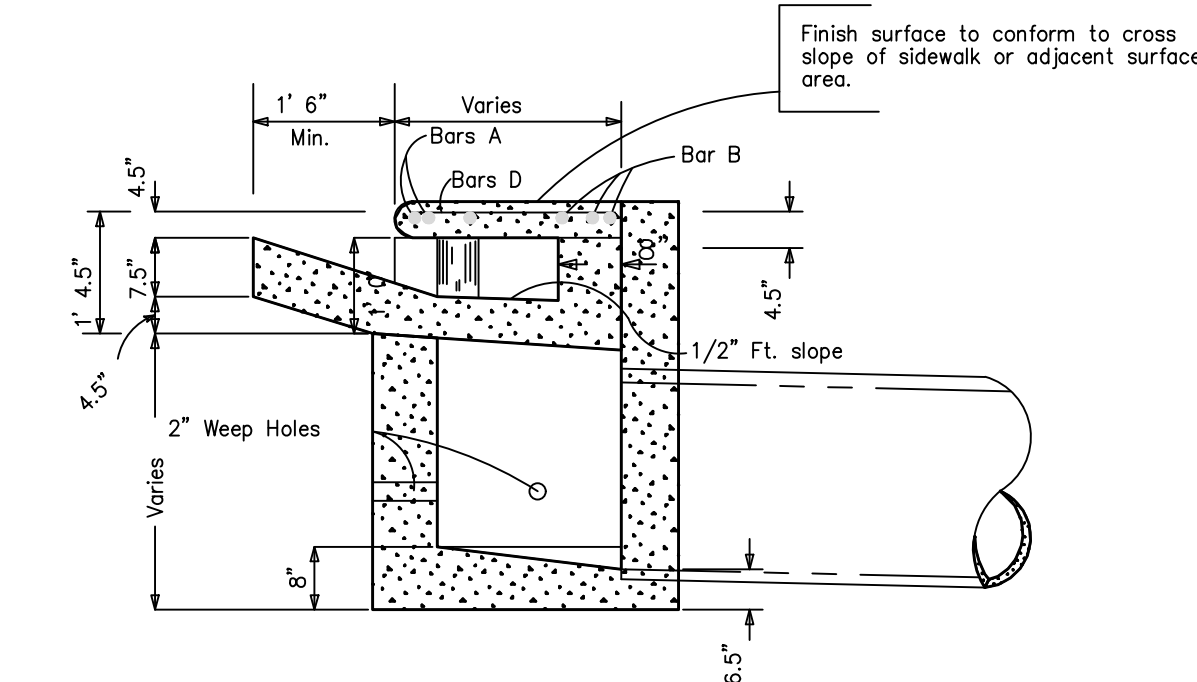
PLAN OF RING

PLAN OF COVER



SECTION X - X

SECTION Y - Y



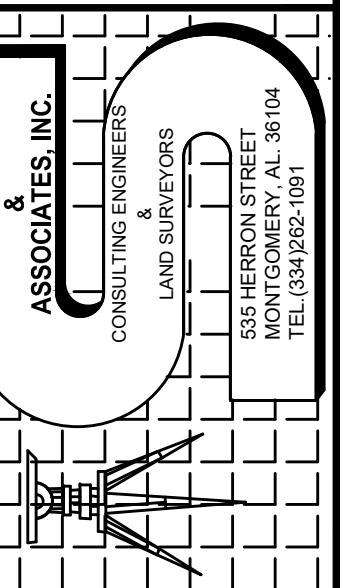
SECTION B - B TYPE A AND B

**NOTES**

1. CONCRETE PEDESTAL SHALL BE POURED IN PLACE. ROUND FORM MAY BE CONSTRUCTED OF METAL, PLASTIC, OR OTHER APPROVED MATERIAL. A 6 INCH DIAMETER PIPE SHELL FILLED WITH CONCRETE WILL NOT BE APPROVED.
2. PIPE MAY CONNECT WITH INLETS FROM ANY DIRECTION, AND AS MANY CONNECTIONS SHALL BE MADE AS NECESSARY.
3. MANHOLE FRAME AND COVER SHALL BE AN APPROVED STANDARD CAST IRON DESIGN.
4. A MINIMUM OF THREE (3) 5/8 INCH STEEL LADDER BARS OF AN APPROVED DESIGN ARE REQUIRED IN ALL INLETS WHERE HEIGHT IS GREATER THAN 4'-0".
5. TWO (2) INCH MINIMUM WEEP HOLES SHALL BE CONSTRUCTED IN INLETS AS DIRECTED BY THE ENGINEER TO FACILITATE SUBGRADE DRAINAGE.
6. INLET DIMENSIONS MUST BE INCREASED TO ACCOMMODATE LARGER PIPE.
7. WHERE DIRECTION OF FLOW IS FROM EACH END OF INLET, SIDE WING (SINGLE WING SHOWN) OPENINGS SHALL BE CONSTRUCTED AT EACH END OF INLET, FOR EACH INLET SO CONSTRUCTED.
8. CONCRETE SHALL BE CLASS A (3000 psi @ 28 DAYS).
9. TWO (2) INCH TEMPORARY DRAIN PIPE TO BE USED DURING STREET CONSTRUCTION. DRAIN PIPE TO BE SEALED AFTER PAVING COMPLETED.
10. BRICK WALLS SHALL RECEIVE 1/2" CEMENT GROUT ON INTERIOR AND EXTERIOR.

**TYPE 'S' INLET DETAILS**

NTS



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

**REVISIONS**

No.	DATE	DESCRIPTION

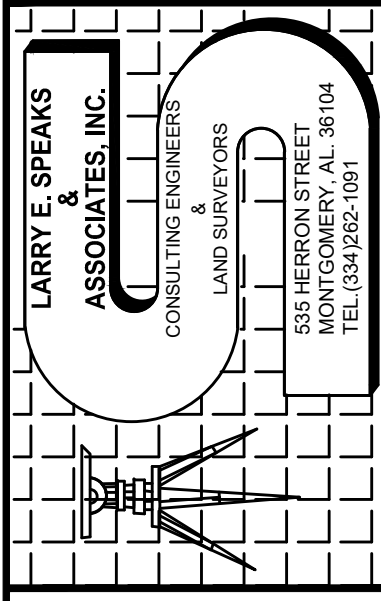
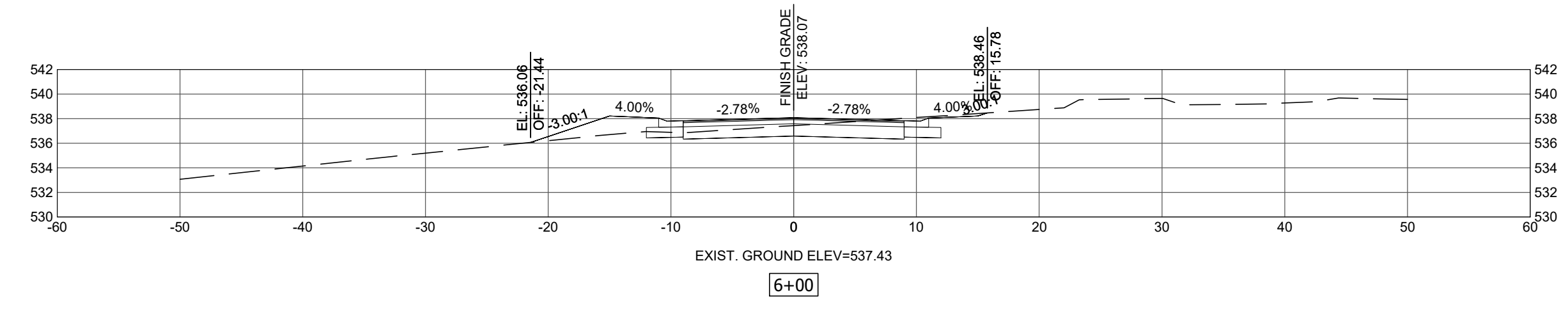
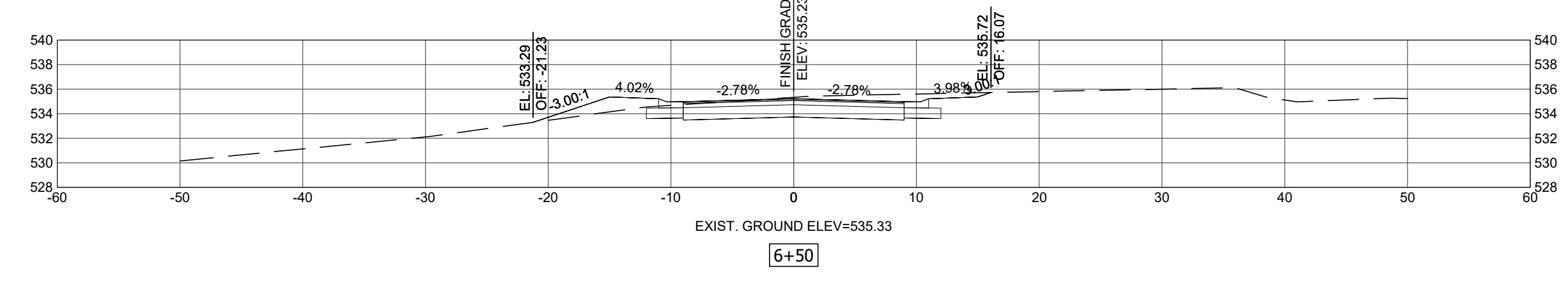
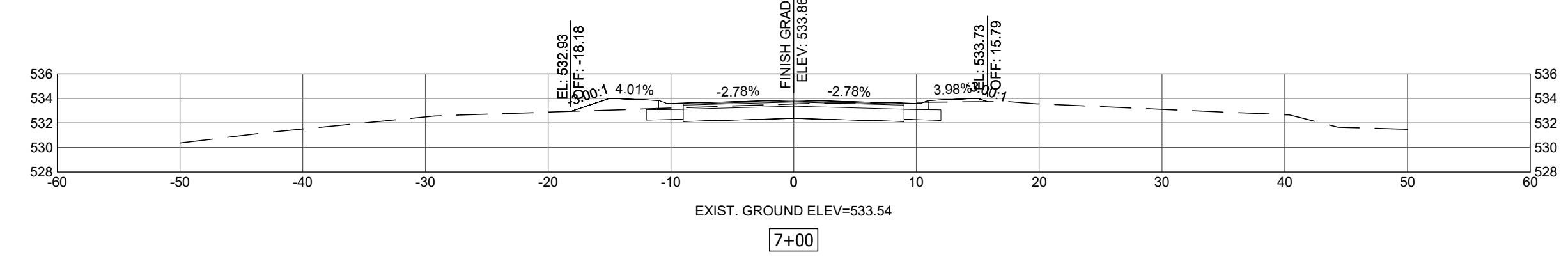
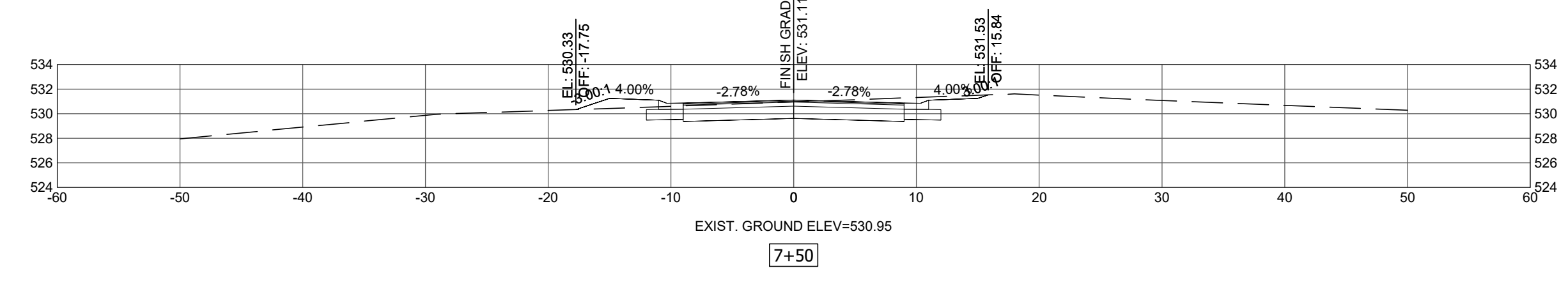
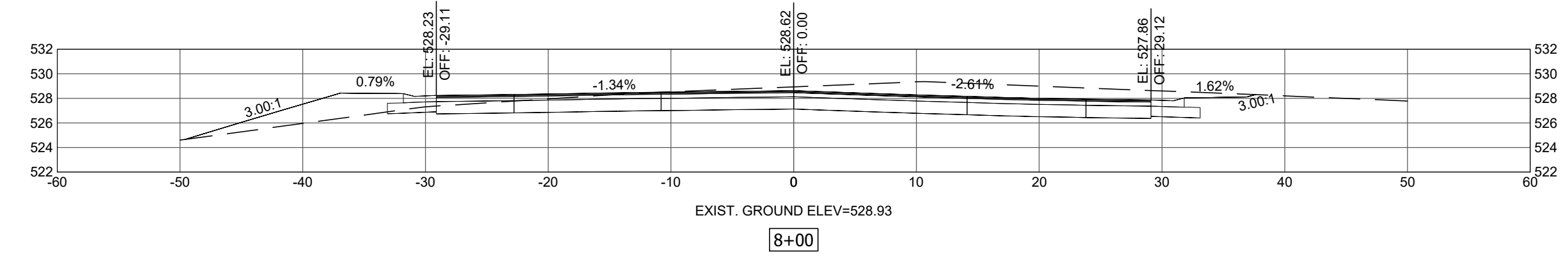
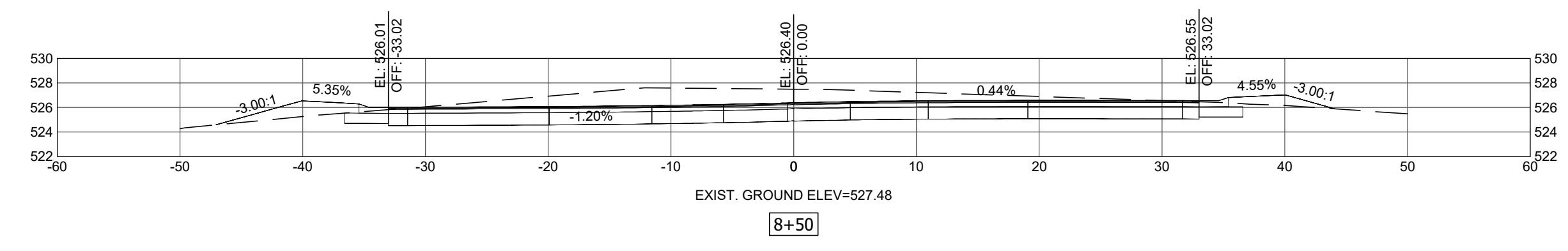
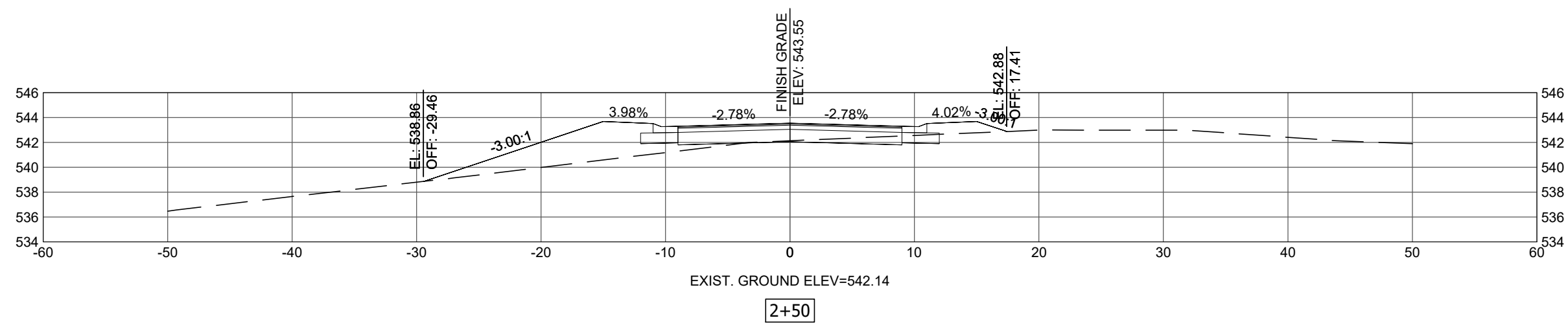
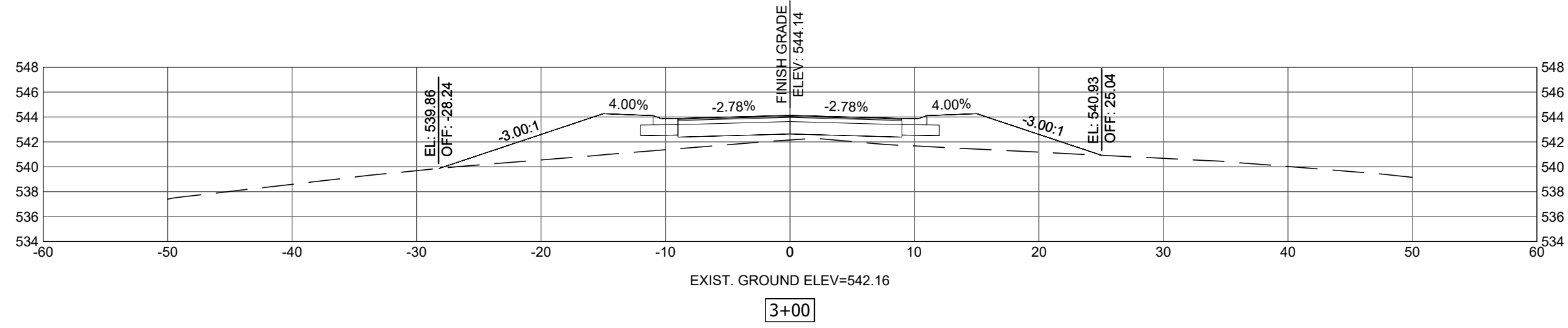
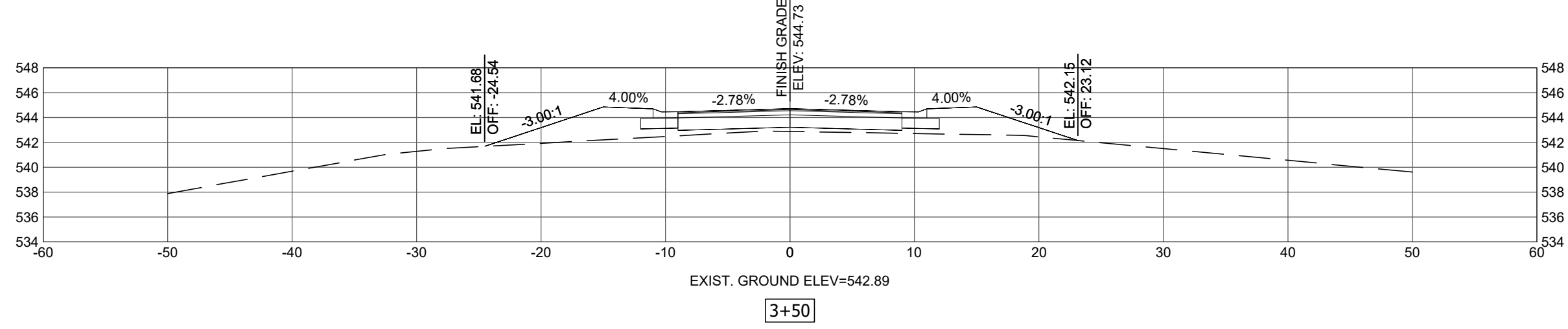
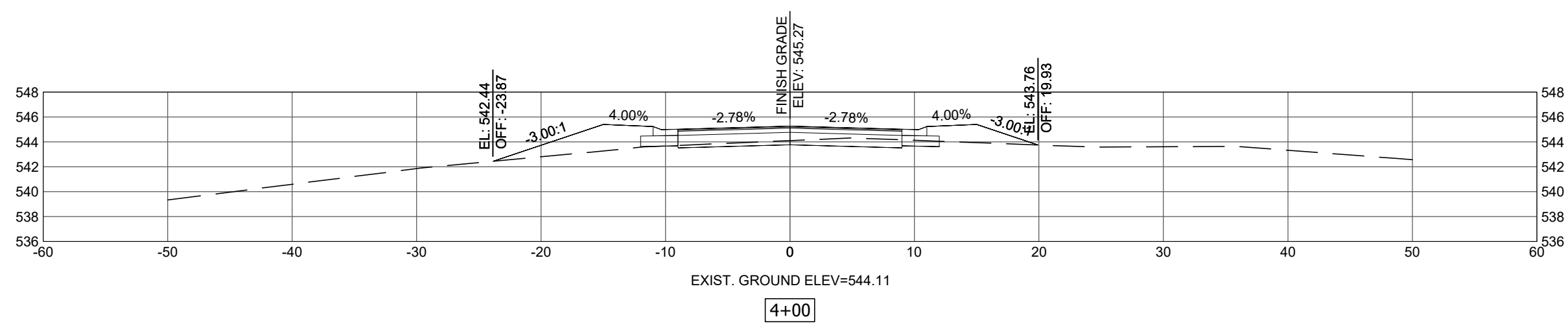
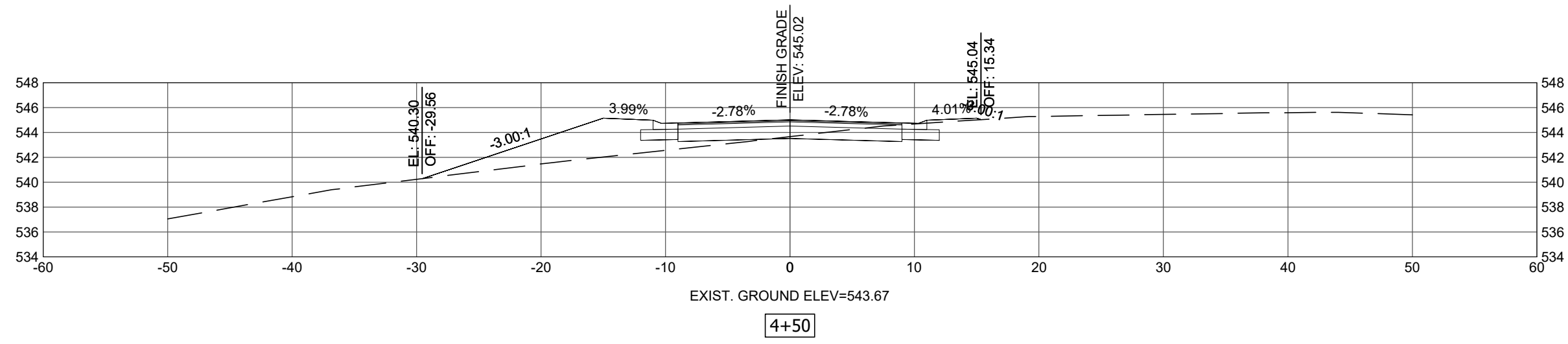
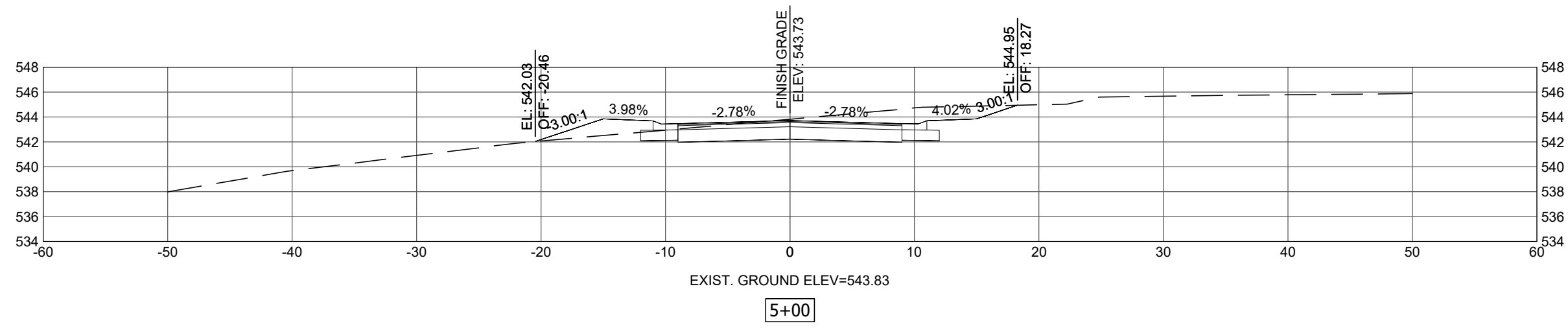
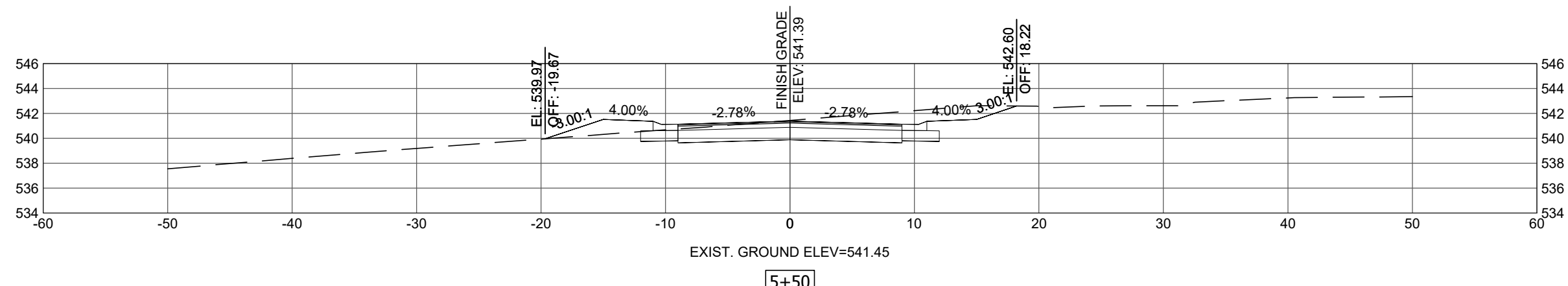
Project No.:	18109A
Dwg Name:	C6-DETAILS.DWG
Drawn By:	AMM
Reviewed By:	CBM
Date Issued:	07/27/2023

DRAWING TITLE:

WINGED INLET  
DETAILS

SHEET

C6.3



WICKER POINT GOLF COURSE  
HERITAGE GOLF RESIDENTIAL PLAT NO. 1  
ALEXANDER CITY, ALABAMA

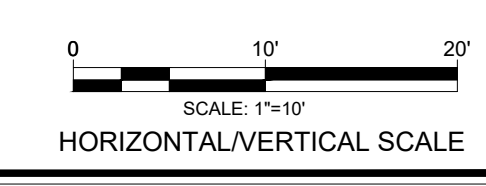
REVISIONS	No.	DATE	DESCRIPTION

Project No.: 18109A  
Dwg Name: C7-XSEC.DWG  
Scale: 1"=10' H/V  
Drawn By: CBM  
Reviewed By: CBM  
Date Issued: 07/27/2023

DRAWING TITLE:  
ROADWAY  
CROSS SECTIONS

SHEET

C7.1







## Planning Commission Meeting

281 James D. Nabors Drive  
Public Works Meeting Room  
Tuesday, September 12, 2023 --- Meeting at 4:00 p.m.

The Planning Commission of the City of Alexander City, Alabama, will hear public comment on a Preliminary Plat approval at the request of City of Alexander City as described:

- A. Amadeus Group Development, LLC
- B. City of Alexander City Municipal Complex:  
281 James D. Nabors Drive, Alexander City, AL 35010
- C. Property Location: Coven Abbett Highway
- D. Preliminary Plat approval: The Pines at Lake Martin Plat 1 in the Alexander City Corporate limits
- E. Tuesday, September 12, 2023 at 4:00 p.m.

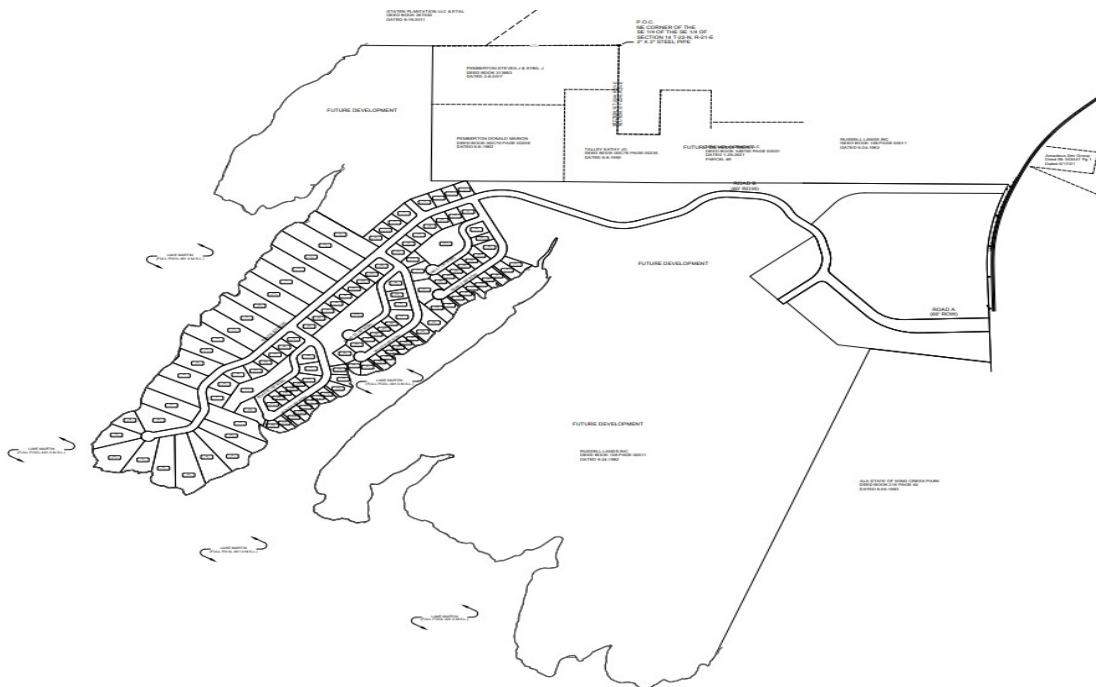
The meetings will be accessible to all persons on a first-come, first-served basis. If you or someone attending have a disability which may require special services, materials or assistance or need further information, please contact Jan Jones, Zoning, at (256) 329-8426.

---

Jan Jones

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Date & Time Posted





P.O. Box 552 • Alexander City • Alabama 35011-0552 • (256) 329-8426

[www.alexandercityal.gov](http://www.alexandercityal.gov)

September 5, 2023

Attn: Property Owner:

Enclosed is a copy of the public hearing scheduled for September 12, 2023 at 4:00pm in the City of Alexander City Municipal Complex located at 281 James D. Nabors Drive, Alexander City, Alabama 35010.

This notice is being sent to you because Tallapoosa County has you listed as the owner of the property that adjoins the property in question.

Please contact me at (256) 329-8426 with any questions.

Respectfully,

Jan Jones  
Code Enforcement  
City of Alexander City



# Proof

<b>Client</b>	CITY OF ALEXANDER CITY LEGALS	<b>Phone</b>	(256) 329-6700
<b>Address</b>	PO BOX 552  ALEXANDER CITY, AL 35011	<b>EMail</b>	ap@alexandercityal.gov
		<b>Fax</b>	
<b>AD #</b>	1703826	<b>Requested By</b>	CITY OF ALEXANDER CITY LEGALS
<b>Account</b>	143941	<b>PO #</b>	
<b>Class</b>	2610	<b>Created By</b>	BRITTANY.SCH
<b>Start Date</b>	09/06/23	<b>Creation Date</b>	08/31/2023
<b>End Date</b>	09/06/23	<b>Dimensions</b>	2 X 5.0
<b>Run Dates</b>	1	<b>Price</b>	<b>\$122.00</b>
<b>Pubs</b>	Alexander City Outlook		
<b>Order #</b>	1703826		
<b>Sales Rep</b>	Brittany Schofield	<b>Phone</b>	
		<b>EMail</b>	brittany.schofield@shelbycount tyreporter.com
		<b>Fax</b>	

NOT AN INVOICE

**Planning Commission Meeting  
281 James D. Nabors Drive  
Public Works Meeting Room  
Tuesday, September 12, 2023 — Meeting at 4:00 p.m.**

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B. City of Alexander City Municipal Complex:

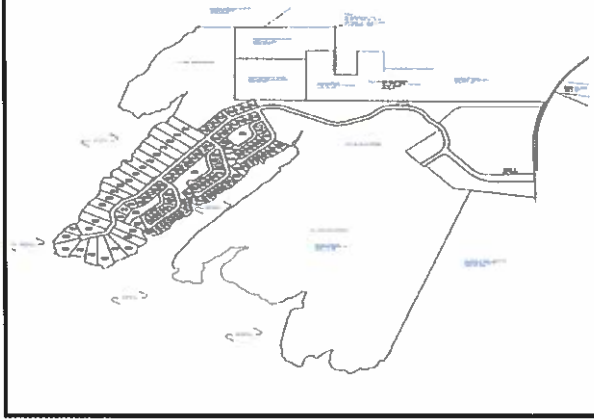
281 James D. Nabors Drive, Alexander City, AL 35010

C. Property Location: Coven Abbett Highway

D. Preliminary Plat approval: The Pines at Lake Martin Plat 1 in the Alexander City Corporate limits

E. Tuesday, September 12, 2023 at 4:00 p.m.

The meetings will be accessible to all persons on a first-come, first-served basis. If you or someone attending have a disability which may require special services, materials or assistance or need further information, please contact Jan Jones, Zoning, at (256) 329-8426.





with or safety conditions existing in, on, at or relating to the property offered for sale. Any all responsibilities or liabilities arising out of or in any way relating to any such condition, including those suggested by Code of Ala. (1975) § 35-4-271, expressly are disclaimed. This is subject to all prior liens, encumbrances and unpaid taxes and assessments including any transfer tax associated with the foreclosure. The successful bidder must tender a refundable deposit of Five thousand Dollars and no/100 (000.00) in certified or cash is at the time and place of sale. The balance of the purchase price must be paid in certified funds by close of business on the next business day thereafter at the Law Office of J.S. Legal Group LLP at the address indicated below. LOGS Legal Group LLP reserves the right to award the bid to the next highest bidder, or to reschedule sale, should the highest bidder fail to timely tender the total amount due.

Alabama law gives some persons who have an interest in the property the right to redeem the property under certain circumstances. Programs may also exist that help persons avoid or delay the foreclosure process. An attorney should be consulted to help you understand these rights and programs as a part of the foreclosure process. J.S. Legal Group Trust 0-4, U.S. Bank National Association, as Indenture Trustee, its successors and assigns Mortgagee or Transferee  
**J.S. LEGAL GROUP LLP**  
 30 Perimeter Parkway,  
 Suite 400 Charlotte, NC 28216  
 333-8107/ 23-022744  
 Attorneys for Mortgagee or Transferee

Alexander City Outlook:  
 30, Sept. 6 and 13, 2023  
 528

**PUBLIC NOTICE**

**MORTGAGE FORECLOSURE SALE.**

Suit having been made in the event of the indebtedness incurred by that certain mortgage executed by John Varner Cora Varner, husband and wife, originally in favor of Mortgage Electronic Registration Services, Inc., as nominee for Mortgage Capital & Investments, a limited liability company, on December 26, 2008, said mortgage recorded in the Office of the Judge of Probate of Wilcox County, Alabama, in Book Number 245083; the undersigned Wells Fargo Bank, N.A., as Mortgagee/Transferee, and by virtue of the power of sale contained in said mortgage, will sell at public outcry to

1-877-460-0206  
 for a free consultation.

**inogen**

MKT-P0246

**SUDOKU ANSWERS**

2	1	3	8	9	4	6	7	5
7	8	6	1	5	3	4	2	9
9	4	5	6	7	2	3	1	8
1	2	4	9	6	8	5	3	7
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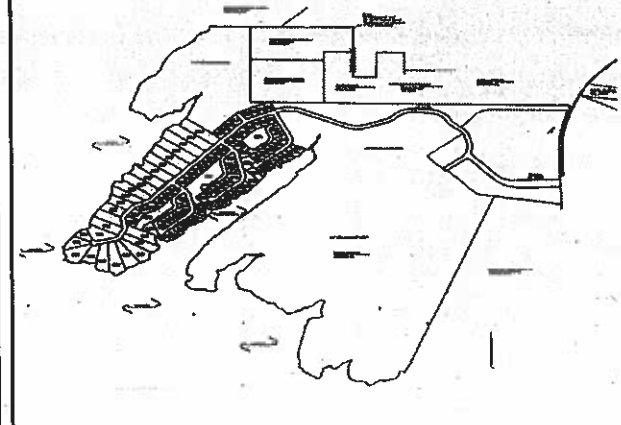
**Planning Commission Meeting  
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 Public Works Meeting Room**

**Tuesday, September 12, 2023 --- Meeting at 4:00 p.m.**

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- Adult Signature Restricted Delivery \$ \_\_\_\_\_

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City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047

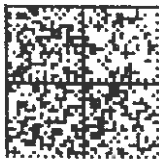
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Kathy Jo Talley  
 44 Dennis Creek Circle  
 Jacksons Gap, Alabama 36861



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Sent To Mike Jackson Rental

Street and Apt. No., or PO Box No. \_\_\_\_\_

City, State, ZIP+4® \_\_\_\_\_

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2279 7650 1000 0450 9702

552  
 5011-0552

Delivered  
 9-8-23

Mike Jackson Rental, LLC  
 531 Grady Road  
 Alexander City, Alabama 35010

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE  
**CERTIFIED MAIL®**



2279 7650 1000 0450 9702



US POSTAGE and METRIC DIMENSIONS  
 ZIP 35010 \$ 004.98<sup>0</sup>  
 02 4W  
 0000384958 SEP 06 2023

2029 16E0 1000 04E0 9T0L

U.S. Postal Service  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**

Certified Mail Fee \$

- Extra Services & Fees (check box, add fee as appropriate)
- Return Receipt (hardcopy) \$
  - Return Receipt (electronic) \$
  - Certified Mail Restricted Delivery \$
  - Adult Signature Required \$
  - Adult Signature Restricted Delivery \$

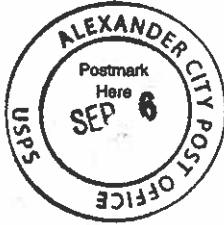
Postage \$

Total Postage and Fees \$

Sent to Donald Pemberton  
Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



SECTION ON DELIVERY

*Pemberton*  
 Agent  
 Addressee

Printed Name) C. Date of Delivery  
*Donald Pemberton 9-8-23*

Address different from Item 1?  Yes  
Delivery address below:  No

- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

PS Form 3811, April 2015 PSN 7530-02-000-9053

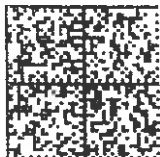
Domestic Return Receipt

1-0552

Donald Pemberton  
2237 Coosa County Road 129  
Rockford, Alabama 35136



2029 16E0 1000 04E0 9T0L



US POSTAGE  
METROPOST  
ZIP 35010 \$ 004.98<sup>0</sup>  
02 4W  
0000384958 SEP 06 2023



U.S. Postal Service  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

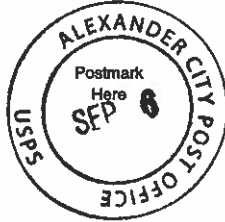
Postage

Total Postage and Fees

Sent To **Steven Pemberton**  
 Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



SECTION ON DELIVERY

*Signature*  Agent  
 Addressee  
 Printed Name) **Pemberton** C. Date of Delivery **9-8-23**  
 Address different from item 1?  Yes  
 Delivery address below:  No

Priority Mail Express®  
 Registered Mail™  
 Registered Mail Restricted Delivery  
 Return Receipt for Merchandise  
 Signature Confirmation™  
 Signature Confirmation Restricted Delivery

PS Form 3811, April 2015 PSN 7530-02-000-9053

Domestic Return Receipt

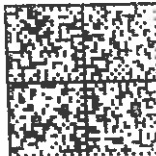
4129 829 1660 1000 0460 9102

3552

Steven Pemberton  
 1109 Turtleneck Road  
 Alexander City, Alabama 35010



4129 829 1660 1000 0460 9102



US POSTAGE  
 ZIP 35010 \$ 004.98  
 02 4W  
 0000384958 SEP 06 2023

**U.S. Postal Service**  
**CERTIFIED MAIL® RECEIPT**  
*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**

Certified Mail Fee \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_



Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Staten Plantation LLC

Street and Apt. No., or PO Box No. \_\_\_\_\_

City, State, ZIP+4® \_\_\_\_\_

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

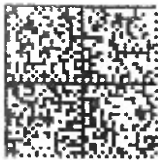
T228 1660 1000 0460 9102

ER  
 X 552  
 5011-0552

Staten Plantation LLC  
 1616 2nd Avenue South  
 Birmingham, Alabama 35233



T228 1660 1000 0460 9102



US POSTAGE™  
 ZIP 35010 \$ 004.98<sup>0</sup>  
 02 4W  
 0000384958 SEP 06 2023



4879 76ED T000 04ED 9T02

U.S. Postal Service  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$
- Return Receipt (electronic) \$
- Certified Mail Restricted Delivery \$
- Adult Signature Required \$
- Adult Signature Restricted Delivery \$

Postage \$

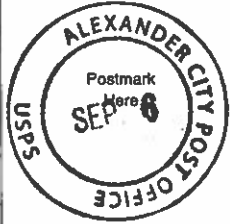
Total Postage and Fees \$

Sent to Russell Lands Inc

Street and Apt. No., or PO Box No.

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



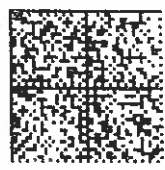
ER  
552  
5011-0552

Russell Lands, Inc.  
2544 Willow Point Road  
Alexander City, Alabama 35610

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE  
**CERTIFIED MAIL®**



4879 76ED T000 04ED 9T02

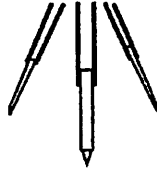


US POSTAGE and METRICITY FROM U.S.  
ZIP 35010 \$ 004.98<sup>0</sup>  
02 4W  
0000384958 SEP 06 2023



**LARRY E. SPEAKS & ASSOCIATES, INC.**  
**CONSULTING ENGINEERS & LAND SURVEYORS**

535 Herron Street  
Montgomery, Alabama 36104  
Telephone: 334.262.1091  
Facsimile: 334.262.2211



AIRPORTS  
BRIDGE DESIGN  
CONSTRUCTION MANAGEMENT  
ENVIRONMENTAL PERMITS  
HIGHWAY DESIGN  
LAND DEVELOPMENT PLANNING & DESIGN  
LAND USE STUDIES  
MUNICIPAL WORKS  
PARKS & RECREATION FACILITIES

SEWAGE COLLECTION, TREATMENT & DISPOSAL  
SOLID WASTE LANDFILLS  
STORM DRAINAGE STUDIES & DESIGN  
SUBDIVISIONS  
SURVEYING: LAND SURVEYS  
CONSTRUCTION SURVEYS  
TOPOGRAPHIC MAPS  
WATER SUPPLY, TREATMENT & DISTRIBUTION

August 31, 2023

City of Alexander City  
281 James D. Nabors Drive  
Alexander City, Alabama 35011

Attn: Ms. Jan Jones, Code Enforcement, Building Department

**RE: The Pines at Lake Martin Plat No. 1  
Preliminary Plat Approval  
Alexander City, Alabama**

Dear Ms. Jones:

On behalf of the developer, Amedeus Development, LLC, we request an appeal to the City of Alexander City Planning Commission for the above referenced project. The proposed project is located inside the city limits. This plat will create One-hundred Nineteen (119) lots. City water, sewer, and gas are available adjacent to the site.

The enclosed plan set does not include planned utilities. We are requesting approval for the preliminary plat so that grading and drainage construction can begin on the project as soon as possible. Master water and sewer plans will be submitted to the development committee at a later date and all utilities will be constructed in accordance with city standards. It is understood that recording of the final plat cannot take place until all roadways and utilities are installed and approved.

Enclosed you will find the following:

1. Subdivision Application Form
2. Application fee of \$500
3. Six (6) copies of Construction Plans for The Pines Plat No. 1
4. List of the adjacent property owners.
5. List of utilities servicing the project.

The developer has requested to be heard at the September 11, 2023 planning commission meeting.



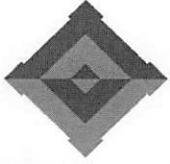
Should you need any additional information from our office, please let us know.

Yours very truly,

A handwritten signature in black ink, appearing to read 'C. Brayer' with a stylized flourish extending to the right.

Brian McBrayer, PE  
Enclosures

cc. David Robinette  
File



**ALEXANDER  
CITY**  
ALABAMA

P.O. Box 552 • Alexander City • Alabama 35011-0552 • (256) 329-6700

www.alexandercityal.gov

**Subdivision Application**

Applicants who wish to subdivide property within the City and within the City’s extraterritorial planning jurisdiction must complete a Subdivision Application form. To request Planning Commission approval of a proposed subdivision plan, please complete the following application and return the form with all necessary supporting documents. Incomplete applications will not be processed.

**Applicant Information:**

Name of Applicant: Amadeus Development Group, LLC  
 Mailing Address: 755 Lee St. Alexander City, Alabama 35010  
 Business Hours Telephone #: 865-607-1449 Alt. Phone #: \_\_\_\_\_  
 Email address: drobinette@rpllc-knox.com

NOTE: If the applicant is NOT the owner of the subject property, then the application MUST be accompanied by a letter signed by the owner authorizing the applicant to submit the application.

**Consulting Engineer Information: (If same as applicant, complete only first three lines)**

Name of Lead Consultant: Steven Speaks  
 Name of Consulting Firm: Larry E. Speaks & Associates  
 Professional Trade Affiliation: [  ] Engineer [  ] Surveyor [  ] Architect  
 Mailing Address: 535 Herron St. Montgomery, AL 36104  
 Business Hours Telephone #: 334-262-1091 Alt. Phone #: \_\_\_\_\_  
 Email address: sspeaks@lespeaks.com / brian@lespeaks.com



**Property Summary Information:**

Owner(s) of Record: Russell Lands, Inc.

Street Address of Subject Property: Coven Abbett Highway

Is Subject Property Located Within the City Limits of Alexander City? [  ] Yes [  ] No

Tax Map & Lot Number of Subject Property: 1206240001001000

Zoning Classification of Subject Property: SD-1 Size of Subject Property in Acres: 100.06

Size in Acres of Smallest Lot to be Created: 0.17 Total Number of New Lots to be Created: 119

Is Subject Property Located Within 300 Feet of a City Water or Sewer Main? [  ] Yes [  ] No

Uses to be Allowed in Subdivision: [  ] Residential [  ] Industrial [  ] Commercial

Is Property Located Within a 100-Year Floodplain? [  ] Yes [  ] No

**Supporting Information:**

Please submit the following items with the Subdivision Application form:

[  ] Full payment of the required Application Fee.

[  ] Six prints or copies of a preliminary plat of the proposed subdivision satisfying all requirements of Article V, Section 4.3 of the Alexander City Subdivision Regulations.

[  ] A listing of the names and mailing addresses of all owners of land immediately adjoining the proposed subdivision property as their names may appear upon the plats contained in the County Tax Assessor's office and as their addresses appear in the directory of the municipality or on the tax records of the municipality or county.

[  ] A complete list of all local, state, and federal permits or approvals that have been applied for or secured by the applicant for the proposed subdivision as of the date of filing of this application.

**Certifications:**

Applicant:

I hereby certify and attest that, to the best of my knowledge and abilities, the information provided in this application is true and accurate. Further, I agree to provide any additional information within my powers that may be required by the Enforcement Officer, City Engineer, or Planning Commission to determine the compliance of the proposed property construction or improvement activities with the Subdivision Regulations and Zoning Ordinance of the City of Alexander City.

*David O Robnetta*

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date

Property Owner:

I hereby certify and attest that, to the best of my knowledge and abilities, the information provided in this application is true and accurate. Further, I agree to provide any additional information within my powers that may be required by the Enforcement Officer, City Engineer, or Planning Commission to determine the compliance of the proposed property construction or improvement activities with the Subdivision Regulations and Zoning Ordinance of the City of Alexander City.

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

*Submit completed application and supporting documents to:*

Attn: Subdivision Application  
City of Alexander City  
P.O. Box 552  
Alexander City, AL 35011

For questions, call (256) 329-6712



**FOR INTERNAL USE ONLY**

Date Filed: \_\_\_\_\_ Received by: \_\_\_\_\_

Application Fee Received: \$\_\_\_\_\_ [ ] Cash [ ] Card [ ] Check # \_\_\_\_\_

Date Reviewed: \_\_\_\_\_ Decision: [ ] Approved [ ] Denied

Enforcement Officer's Signature: \_\_\_\_\_

Public Hearing Date: \_\_\_\_\_

Date Public Hearing was Closed (if Different from Above): \_\_\_\_\_

Planning Commission Action on Preliminary Plat: [ ] Approved [ ] Denied

Date of Final Action by Planning Commission: \_\_\_\_\_

Planning Commission Findings and/or Special Conditions of Approval:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Planning Commission Chairman Signature

\_\_\_\_\_  
Date

STATIN PLANTATION LLC & ETAL  
DEED BOOK 26789  
DATED 8-19-2011

P.O.C.  
NE CORNER OF THE  
SE 1/4 OF THE SE 1/4 OF  
SECTION 14 T.22-N. R.21-E  
2" X 2" STEEL PIPE

PERMERTON STEVEN J & SYBIL J  
DEED BOOK 13188  
DATED 2-4-2017

FUTURE DEVELOPMENT

PERMERTON DONALD MARION  
DEED BOOK 10278 PAGE 0026  
DATED 1-4-1992

TALLEY KATHY JO  
DEED BOOK 10276 PAGE 0026  
DATED 8-8-1992

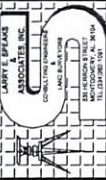
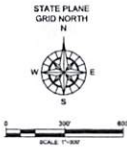
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DEED BOOK 10276 PAGE 0026  
DATED 1-28-2021  
PARCEL #9

RUSSELL LANDS INC  
DEED BOOK 158 PAGE 0011  
DATED 9-24-1992

Amended Dev Group  
Consist of 104447 Tr 1  
Consist 6/17/21



LOCATION MAP  
TALLOPOOSA COUNTY, AL



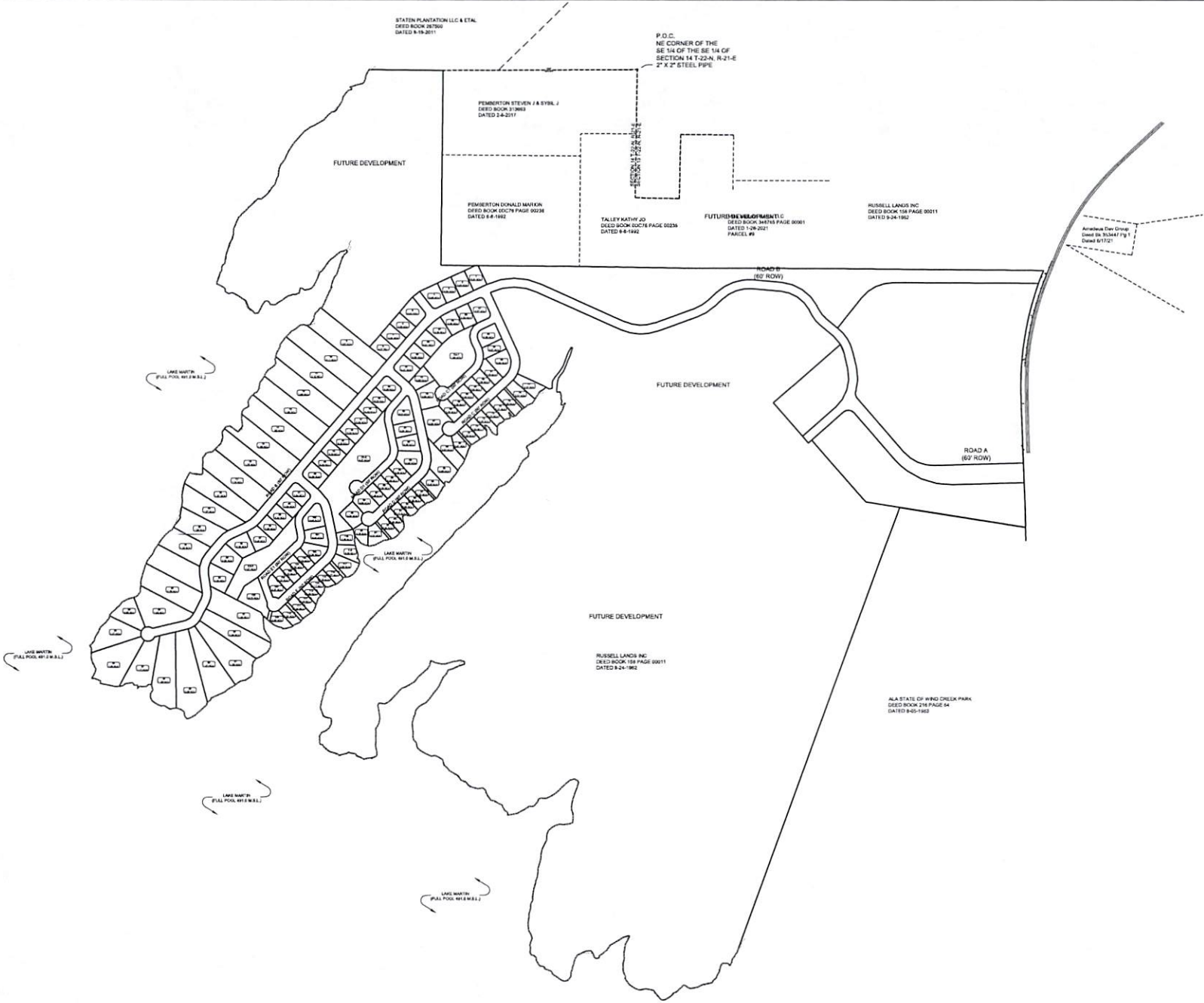
THE PINES AT LAKE MARTIN  
COVENANT ROAD  
ALEXANDER CITY, ALABAMA

NO.	DATE	REVISIONS	DESCRIPTION

Project No.	24-0000000000
Scale	AS SHOWN
Drawn by	
Checked by	
Date	08/17/2023

DRAWING TITLE  
**PRELIMINARY PLAT**

SHEET  
**C1.0**



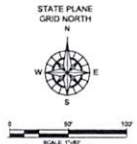








DEED BOOK UDC76 PAGE 00  
DATED 6-8-1992



THE PINES AT LAKE MARTIN  
COVEN ABRETT ROAD  
ALEXANDER CITY, ALABAMA

REVISIONS

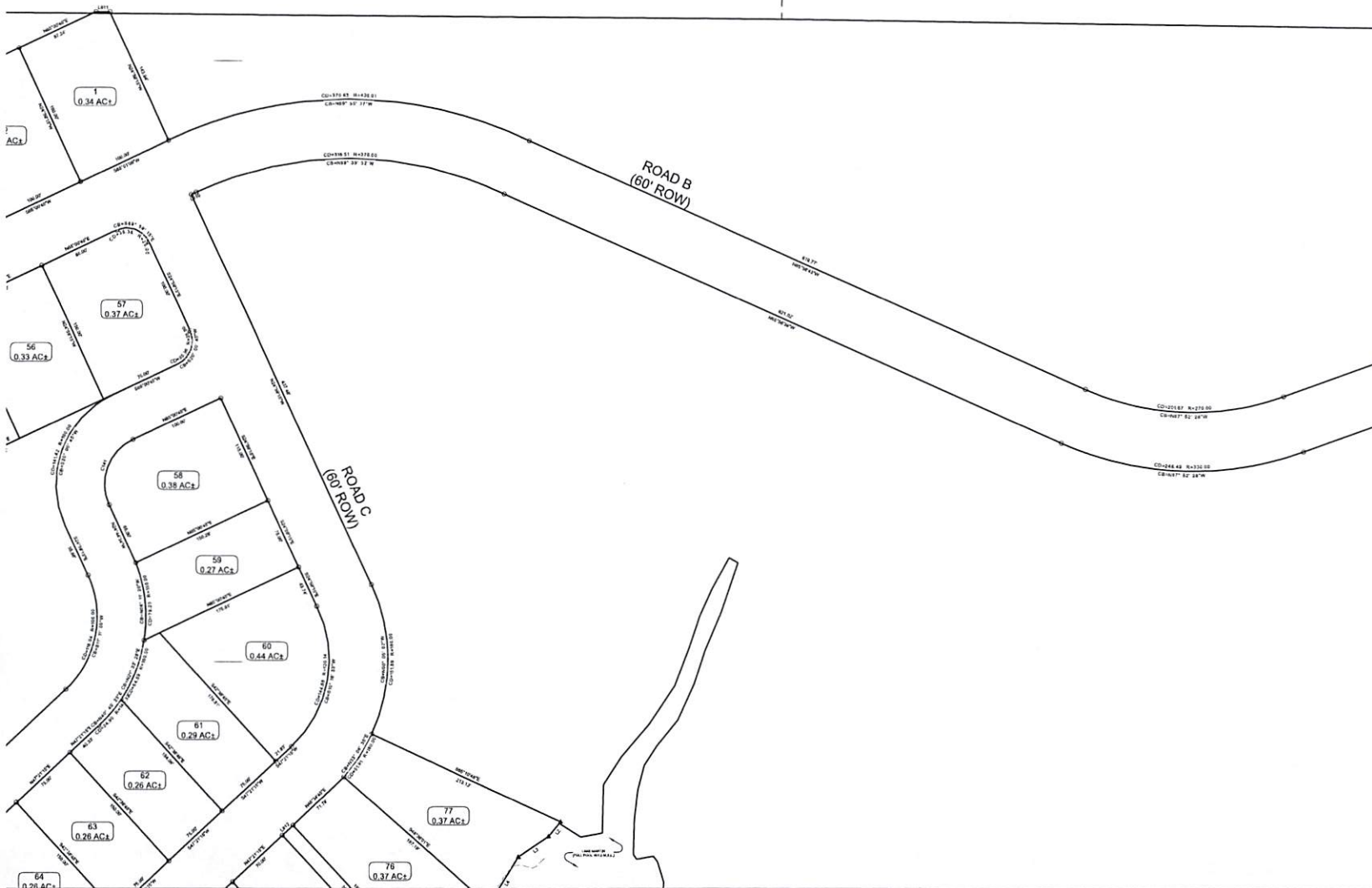
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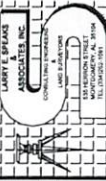
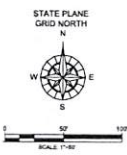
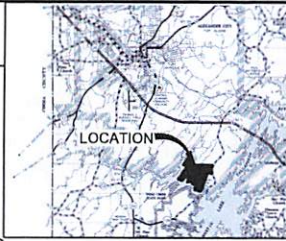
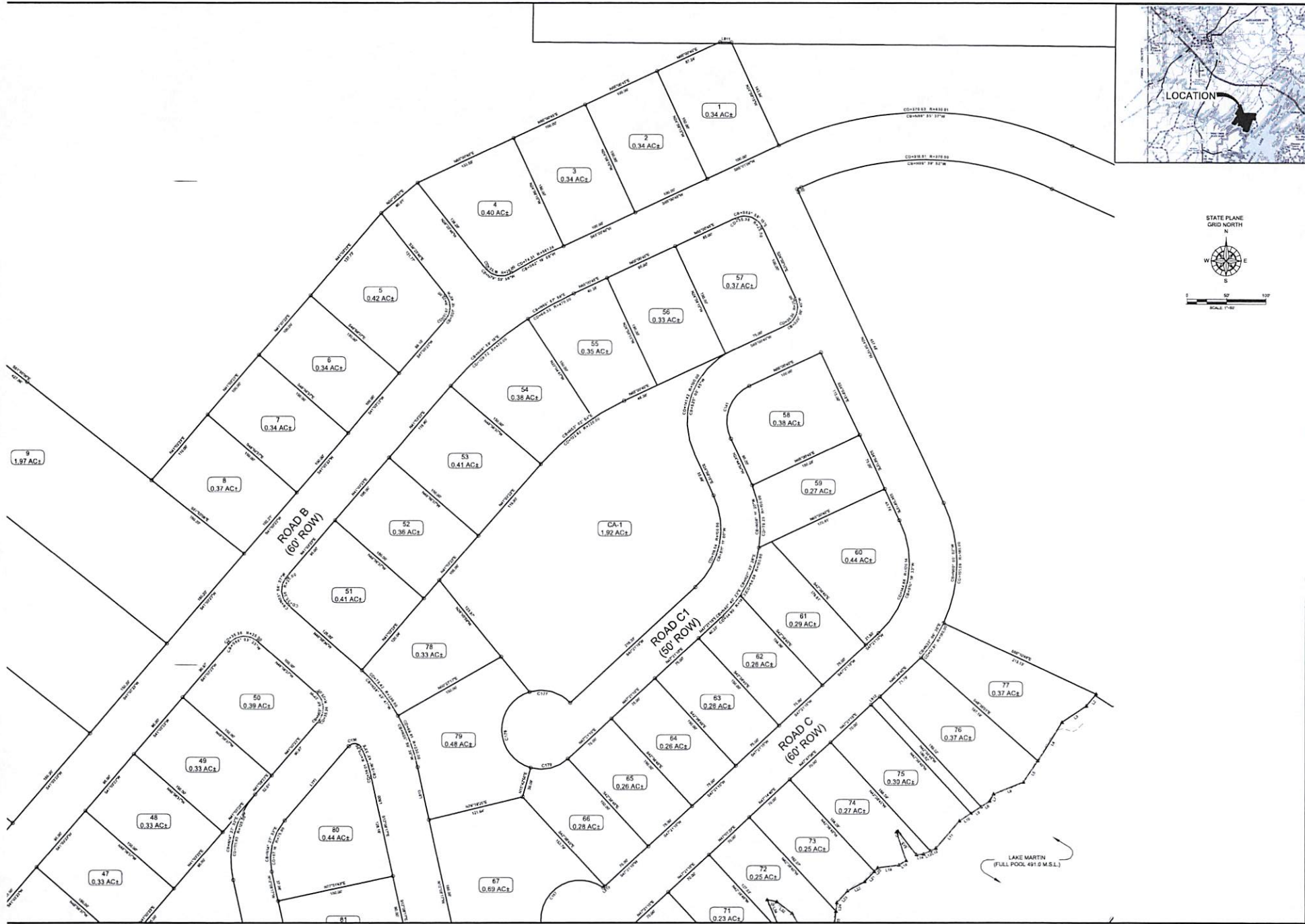
PROJECT No.	DATE
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DRAWING TITLE:  
PRELIMINARY PLAT

SHEET

C1.3

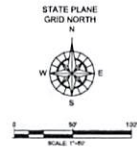
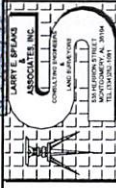
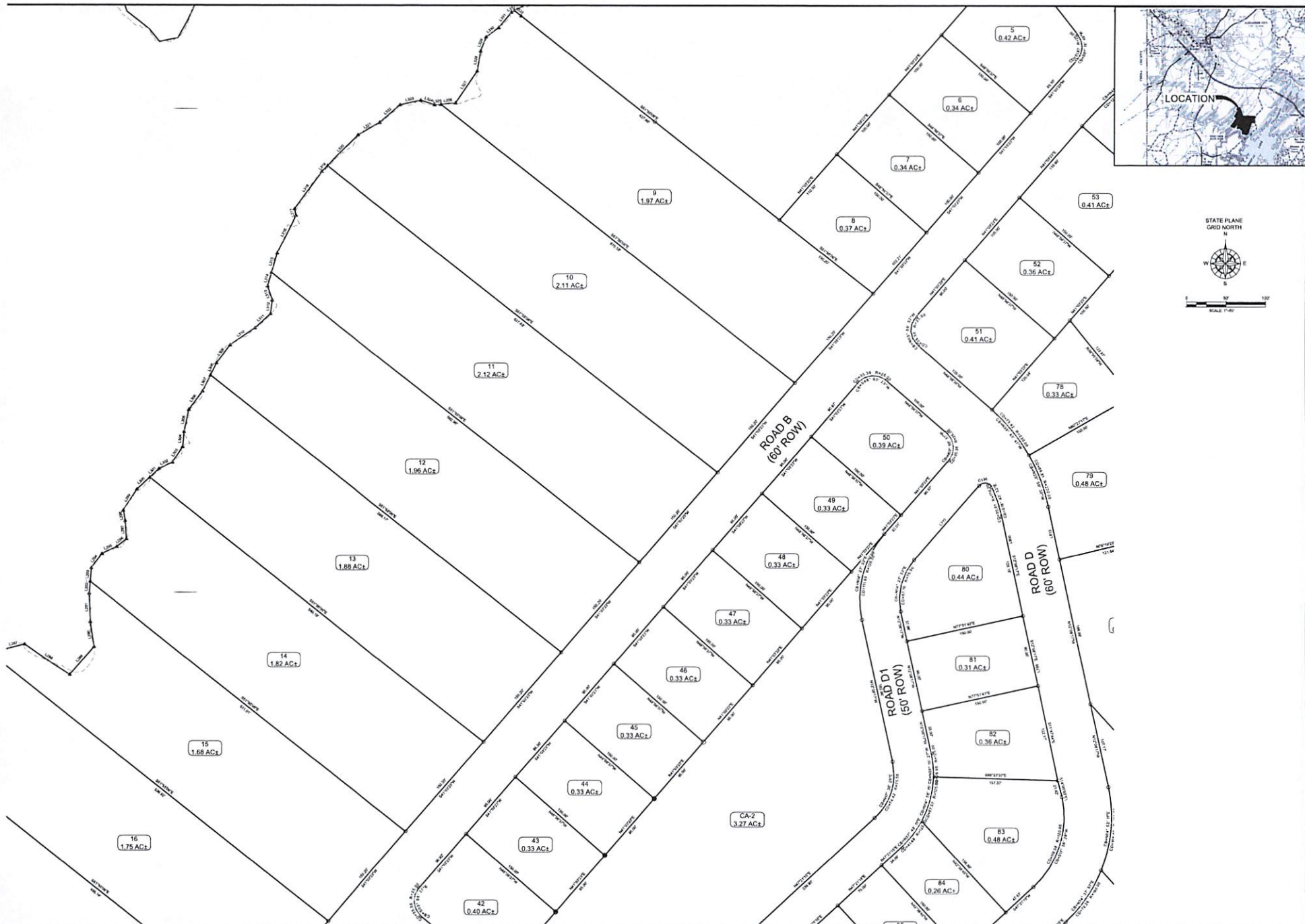




THE PINES AT LAKE MARTIN  
 COVEN ABRETT ROAD  
 ALEXANDER CITY, ALABAMA

REVISIONS	
No.	DATE

DRAWING TITLE	PRELIMINARY PLAN
SHEET	C1.4



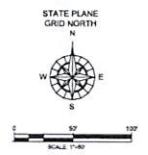
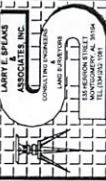
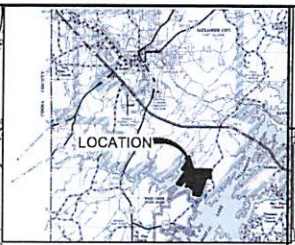
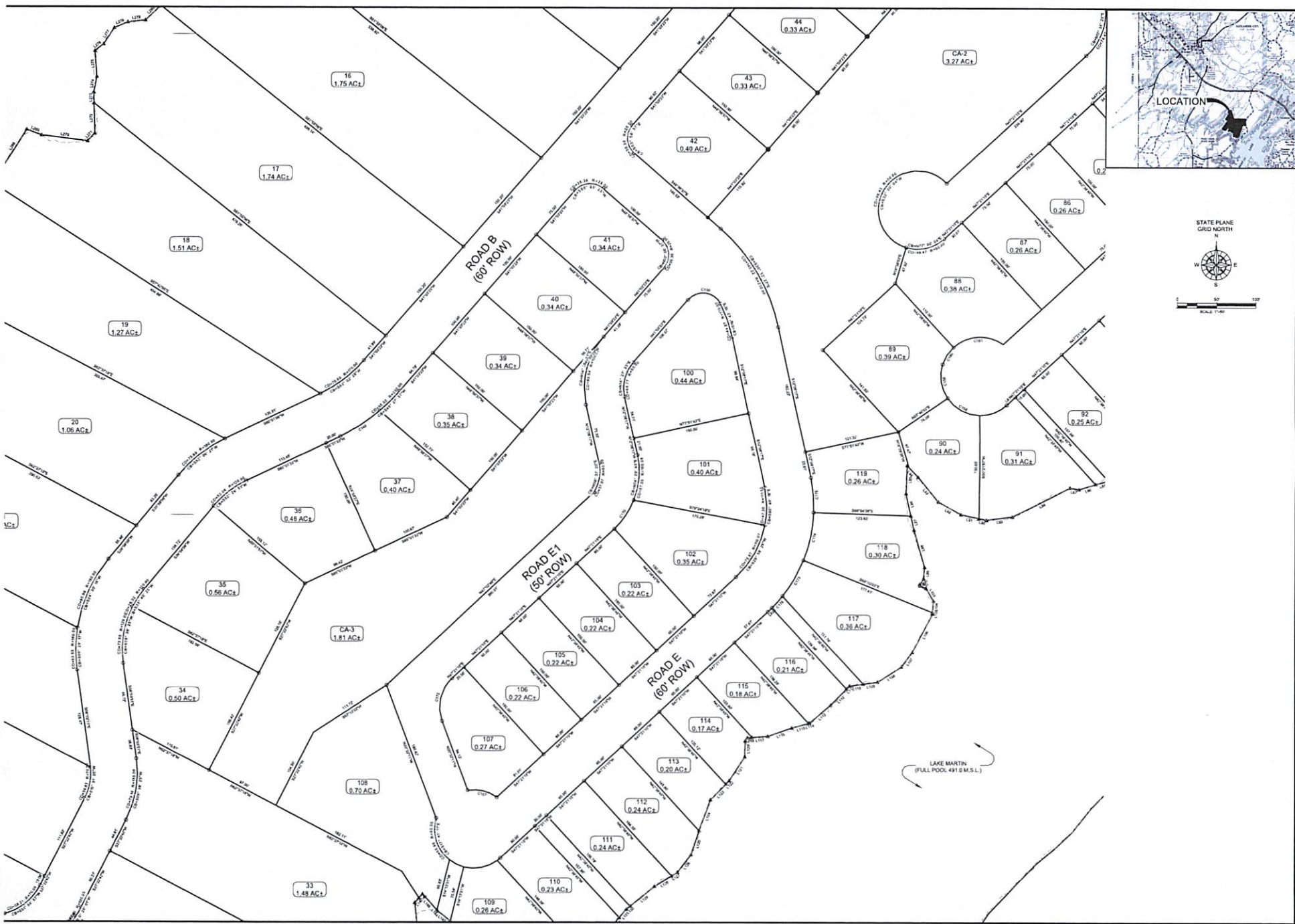
THE PINES AT LAKE MARTIN  
 COVEN ABBETT ROAD  
 ALEXANDER CITY, ALABAMA

NO.	DATE	REVISIONS	DESCRIPTION

DRAWING TITLE:  
**PRELIMINARY PLAT**

SHEET  
**C1.5**





THE PINES AT LAKE MARTIN  
 COVEN ABBEY ROAD  
 ALEXANDER CITY, ALABAMA

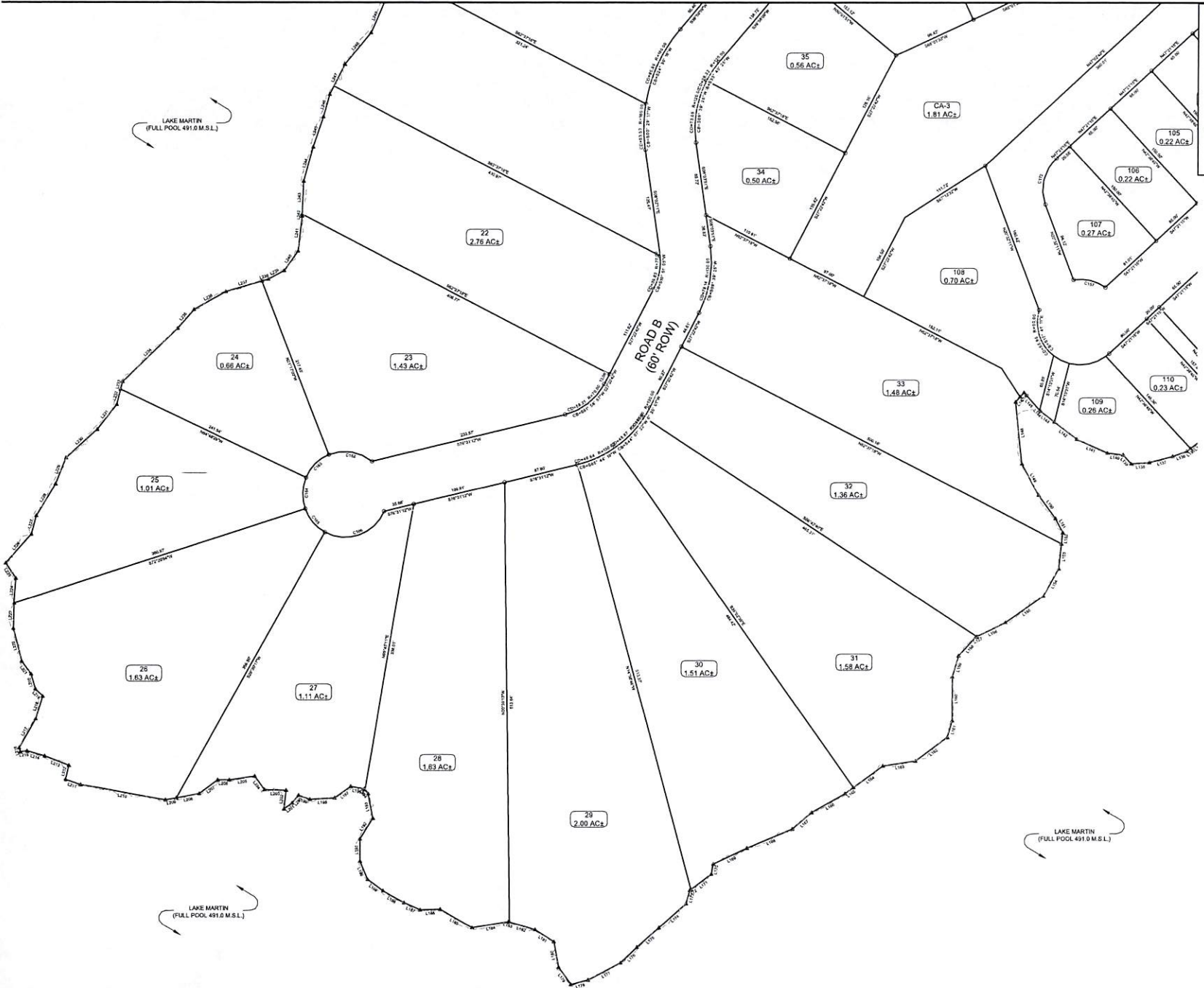
NO.	DATE	DESCRIPTION

DRAWING TITLE  
**PRELIMINARY PLAN**

SHEET  
**C1.6**

LAKE MARTIN ASSOCIATES, INC.  
 CONSULTING ENGINEERS & ARCHITECTS  
 1000 W. UNIVERSITY BLVD., SUITE 100  
 ALEXANDER CITY, AL 36002

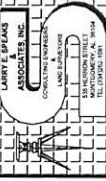
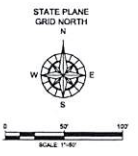
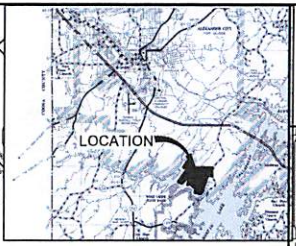
DATE: 08/07/2013  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]



LAKE MARTIN  
(FULL POOL 491.0 M.S.L.)

LAKE MARTIN  
(FULL POOL 491.0 M.S.L.)

LAKE MARTIN  
(FULL POOL 491.0 M.S.L.)



THE PINES AT LAKE MARTIN  
COVEN ABBEY ROAD  
ALEXANDER CITY, ALABAMA

NO.	DATE	DESCRIPTION

PROJECT NO.	
DRAWING NO.	
DATE	
SCALE	
BY	
CHECKED BY	
DATE	

DRAWING TITLE:  
**PRELIMINARY PLAT**  
SHEET  
**C1.7**





STATE OF ALABAMA  
TALLAPOOSA COUNTY

I, Steven E. Speaks, a Registered Professional Engineer and Land Surveyor of Tallapoosa County, Alabama, hereby certify that I have surveyed the property of The Heritage at Lake Martin LLC, as owner, of The Pines at Lake Martin Plot No. 1, located in Tallapoosa County, Alabama, and being more particularly described as follows:

STATE OF ALABAMA  
COUNTY OF TALLAPOOSA

(Great Land)  
And that the plat or map contained herein is a true and correct map showing the subdivision into which the property is divided giving the length and bearing of the boundaries of each lot and its number and showing the streets, ways and public grounds and giving the bearings, length, width and names of the streets, said map further shows the location of the land so platted to the Government Survey, and that permanent monuments have been placed at point marked (b) on herein shown, and I further certify that all parts of the survey and plat have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief.

WITNESSE my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Steven E. Speaks, P.E., F.L.S.  
Alabama Registration No. 20897

ACKNOWLEDGMENT:

STATE OF ALABAMA  
TALLAPOOSA COUNTY

I, the undersigned authority, a Notary Public in and for said County, in said State, hereby certify that \_\_\_\_\_ whose name as \_\_\_\_\_ an Alabama Corporation, Manager of The Pines at Lake Martin LLC, is signed to the foregoing instrument, and who is known to me, acknowledge(S) before me on this day that, being informed of the contents of said instrument, he, as such officer and with full authority, executed the same voluntarily for and in the act of said company.

Given under my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Notary Public  
My commission expires: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY THE WATER DEPARTMENT:

The undersigned, as authorized by the Water Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Water Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE SEWER DEPARTMENT:

The undersigned, as authorized by the Sewer Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Sewer Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE GAS DEPARTMENT:

The undersigned, as authorized by the Gas Department of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Gas Department  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE ALEXANDER CITY LIGHT DEPARTMENT:

The undersigned, as authorized by the Alexander City Light Department, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Alexander City Light Department

CERTIFICATE OF APPROVAL BY THE ALABAMA POWER COMPANY:

The undersigned, as authorized by the Alabama Power Company, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Alabama Power Company

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY HEALTH DEPARTMENT:

The Health Department signatures is for recording purposes and signifies that the Department is aware of the development and does not see obvious impediments to the planned water system serving the lots as it was presented.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Health Officer  
Tallapoosa County, Alabama

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY # 411 BOARD:

The undersigned, as authorized by the #411 Board of Tallapoosa County, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Chairman or Coordinator, #11 Board

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER FOR STORM DRAINAGE SYSTEM:

The undersigned, as authorized City Engineer of the City of Alexander City, Alabama, concur on the design of the storm drainage system as depicted on this plat.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

City Engineer  
City of Alexander City, Alabama

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER:

The undersigned, as duly appointed City Engineer of the City of Alexander City, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

City Engineer  
City of Alexander City, Alabama

APPROVAL BY THE ALEXANDER CITY PLANNING COMMISSION:

I hereby certify that the plat for The Heritage at Lake Martin LLC, has been found to comply with the Subdivision Requirements for Alexander City, Alabama, with the exception of such variances and special conditions, if any, as noted in the minutes of the Planning Commission, and that it has been approved in the Office of the Probate Judge of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Chairman, Planning Commission

Secretary

CERTIFICATE OF APPROVAL BY THE TALLAPOOSA COUNTY ENGINEER:

The undersigned, as the County Engineer of Tallapoosa County, Alabama, hereby approved the within plat for the recording of same in the Probate Office of Tallapoosa County, Alabama.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

County Engineer

OFFICE OF THE JUDGE OF PROBATE:

STATE OF ALABAMA  
TALLAPOOSA COUNTY

I hereby certify that the Plat or Map was filed in this Office for record this \_\_\_\_\_ day

of \_\_\_\_\_, 2022, of \_\_\_\_\_ A.M.P.M., and recorded in Book \_\_\_\_\_ of Plats and

Maps, Page \_\_\_\_\_ Recording \_\_\_\_\_ page.

Judge of Probate  
Tallapoosa County

GENERAL NOTES:

- ALL DRAINAGE EASEMENTS AS SHOWN ON THIS PLAT ARE TO BE MAINTAINED BY THE OWNER OR OWNERS OF THE LOT OR LOTS UPON WHICH SUCH DRAINAGE EASEMENT IS LOCATED. FAILURE TO MAINTAIN AREA AS CONSTRUCTED COULD RESULT IN UPSTREAM FLOODING AND COULD RESULT IN A CIVIL LIABILITY.
- WITHOUT RELIEVING ANY OTHER LEGALLY RESPONSIBLE PARTY, EACH LOT OWNER IS RESPONSIBLE FOR INSTITUTING ANY REQUIRED EROSION CONTROL MEASURES DURING THE CONSTRUCTION OF ANY IMPROVEMENTS ON THE LOT.
- IT IS A REQUIREMENT OF THIS PLAT THAT THE OWNER OF ANY LOT SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO SEWER/LINE, VALLEY OUTLETS, OR CURB LOCATED ADJACENT TO THE OWNER'S LOT WHICH IS CAUSED BY CONTRACTORS WORKING ON THE OWNER'S LOT.
- IN THE EVENT TWO OR MORE ADJACENT LOTS ARE PURCHASED BY THE SAME PERSON AND CONSTRUCTION CROSSES OVER A LOT LINE, THE UTILITY EASEMENT ON SAID LOT LINE SHALL BE VACATED. PROVIDED THE OWNER OF THE LOTS MAKES ARRANGEMENTS WITH THE OWNER OF ANY UTILITIES IN PLACE TO REMOVE AND/OR RELOCATE SAID UTILITIES. IN ADDITION, THE LOT OWNER IS REQUIRED TO FOLLOW THE CITY ADMINISTRATIVE PLAT PROCEDURE TO CONSOLIDATE LOTS.
- ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEE, AND THE CITY OF ALEXANDER CITY, ALABAMA, IN OPERATION OF THE SEWER AND WATER SERVICES SERVING THE HERITAGE ARE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN SEWER LINES, WATER LINES, PUMPING STATIONS, LIFT STATIONS, LATERALS AND OTHER SEWER AND WATER EQUIPMENT AND APPLIANCES IN THE HERITAGE ROADWAYS AND WITHIN THE DRAINAGE AND UTILITY EASEMENTS SHOWN ON SUBJECT PLAT, AS WELL AS THE RIGHT TO INSTALL, SERVICE LATERALS RUNNING FROM SAID UTILITY EASEMENT TO THE DWELLINGS OR BUILDINGS CONSTRUCTED ON LOTS WITHIN SUBJECT PLAT, TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVEYMENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF, AND ALSO, THE RIGHT TO CUT AND KEEP CLEAR ALL TREES, UNDERBUSH, SHRUBBERY, ROOTS AND OTHER GROWTH, AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES.
- AND ITS DESIGNEE, AT AT TELECOMMUNICATIONS COMPANY AND ALL OTHER UTILITIES, INCLUDING CABLE PROVIDERS, SHALL, WITH THE PRIOR WRITTEN CONSENT OF THE HERITAGE AT LAKE MARTIN LLC, ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEE, BE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN THEIR FACILITIES INCLUDING ALL CONDUITS, CABLES, TRANSDUCERS, PIPE AND OTHER APPLIANCES USEFUL, OR NECESSARY IN CONNECTION THEREWITH, WITHIN A TEN (10) FOOT EASEMENT ALONG THAT PORTION OF EACH LOT ABUTTING A HERITAGE ROADWAY, OR AS DESCRIBED ON THE PLAT, AND ANY OTHER UTILITY EASEMENT SHOWN, TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVEYMENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF, AND ALSO, THE RIGHT TO CUT AND KEEP CLEAR ALL TREES, UNDERBUSH, SHRUBBERY, ROOTS AND OTHER GROWTH AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES.
- AN EASEMENT IS GRANTED TO ITS SUCCESSORS, ASSIGNS, AND ITS DESIGNEE'S OWN AND ACQUIRES ROADWAYS AND THE ADJACENT AREA SHOWN AS UTILITY EASEMENTS, ALL FOR INSTALLATION, MAINTENANCE, REPAIRS AND IMPROVEMENTS TO WATER AND SEWER SYSTEMS SERVING THE HERITAGE.
- BEARINGS AND DISTANCES SHOWN AROUND THE WATER ARE INTENDED TO REPRESENT THE 491' M.S.L. CONTOUR OF LAKE MARTIN (FULL POOL ELEVATION) THESE BEARINGS AND DISTANCES ARE FOR DETERMINING ACRES OF LOTS. IT IS INTENDED THAT ALL LOTS EXTEND TO THE 491' M.S.L. CONTOUR (FULL POOL ELEVATION) AND NOT EXACTLY TO THE POINTS SHOWN BY THE BEARINGS AND DISTANCES.

- THERE IS HEREBY GRANTED A 10' MINIMUM BLANKET UTILITY EASEMENT FOR ALL UTILITIES IN THIS SUBDIVISION ALONG EACH SIDE LOT LINE, OF EACH SIDE FOR A TOTAL OF 10', UNLESS NOTED OTHERWISE ON THE PLAT.
- ACCORDING TO A LETTER DATED MAY 9, 2008, FROM THE ALABAMA POWER COMPANY THE HIGHEST RECORDING POOL ELEVATION MEASURED AT MARTIN DAM SINCE 1940 IS 491.97' M.S.L. THE COUNTY ELEVATION REGULATIONS REQUIRE THAT ALL STRUCTURES BE BUILT A MINIMUM 1.00' ABOVE THE HIGHEST RECORDING POOL ELEVATION (492.97' M.S.L.) THE APPROXIMATE LOCATION OF THE ANCHOR DESCRIBED 492.10' M.S.L. IS SHOWN ON THE PLAT FOR REFERENCE. LOT OWNERS MUST COMPLY WITH BUILDING SET BACK REQUIREMENTS CONTAINED IN THE CHARTER OR DESIGN GUIDELINES.
- ALL THE PROPERTY INCLUDED WITHIN THIS PLAT IS SUBJECT TO THE COVENANT CHARTER FOR \_\_\_\_\_ U.S. GOVERNMENT, CONDITIONS AND RESTRICTIONS, AS RECORDED IN DOCUMENT NUMBER 28211, THE COVENANT FOR RUSSELL FOREST PRESERVATION ORGANIZATION, INC., AS RECORDED IN DOCUMENT NUMBER 28219, PAGES 1-42, THE AMENDMENT TO THE COVENANT FOR RUSSELL FOREST PRESERVATION ORGANIZATION, INC., AS RECORDED IN DOCUMENT NUMBER 28211, PAGES 1-3, AND THE ARTICLES OF INCORPORATION OF \_\_\_\_\_ ALL IN THE OFFICE OF THE JUDGE OF PROBATE, TALLAPOOSA COUNTY, ALABAMA.
- ALABAMA POWER COMPANY IS GRANTED THE RIGHT TO CONSTRUCT, INSTALL, OPERATE AND MAINTAIN ITS FACILITIES, INCLUDING ALL CONDUITS, CABLES, TRANSDUCERS AND OTHER APPLIANCES USEFUL, OR NECESSARY IN CONNECTION THEREWITH, WITHIN A TEN (10) FOOT EASEMENT ALONG THAT PORTION OF EACH LOT ABUTTING A DEDICATED STREET, AND ANY OTHER UTILITY EASEMENT SHOWN, FOR THE UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRIC POWER, TOGETHER WITH ALL THE RIGHTS AND PRIVILEGES NECESSARY OR CONVEYMENT FOR THE FULL ENJOYMENT OR USE THEREOF, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO AND FROM SAID FACILITIES AND THE RIGHT TO EXCAVATE FOR INSTALLATION, REPLACEMENT, REPAIR AND REMOVAL THEREOF, AND ALSO, THE RIGHT TO CUT AND KEEP CLEAR ALL TREES, UNDERBUSH, SHRUBBERY, ROOTS AND OTHER GROWTH, AND TO KEEP CLEAR ANY AND ALL OBSTRUCTIONS OR OBSTACLES OF WHATEVER CHARACTER ON, UNDER AND ABOVE SAID FACILITIES. ALSO INCLUDED IN THE RIGHTS GRANTED HEREIN IS THE RIGHT TO INSTALL SERVICE LATERALS RUNNING FROM SAID 10 FOOT WIDE EASEMENT TO THE DWELLINGS OR BUILDINGS CONSTRUCTED ON THE LOTS WITHIN THIS PLAT.
- THE LOT OWNER IS RESPONSIBLE FOR THE DRIVEWAY PIPE AS DICTATED BY HYDROLOGY.
- SITE DATA:  
TOTAL TRACT ACRES: 100.06 ACRES  
SMALLEST LOT SIZE: 0.17 ACRES  
TOTAL NUMBER OF LOTS: 119 LOTS  
LINEAR FOOTAGE OF STREETS: 14,791 LF



THE PINES AT LAKE MARTIN  
COVEN ABBETT ROAD  
ALEXANDER CITY, ALABAMA

REVISIONS	DESCRIPTION	No.	DATE

DRAWING TITLE:  
PRELIMINARY PLAT

SHEET

C1.9

# The Pines at Lake Martin Plat No. 1

## Adjacent Property Owners

Russell Lands, Inc  
2544 Willow Point Road  
Alexander City, AL 35010

Mike Jackson Rental LLC  
531 Grady Road  
Alexander City, AL 35011

Kathy Jo Talley  
44 Dennis Creek Circle  
Jacksons Gap, AL 36861

Donald Pemberton  
2237 Coosa County Road 129  
Rockford, AL 35136

Steven Pemberton  
1109 Turtleneck Road  
Alexander City, AL 35010

Staten Plantation LLC  
1616 2<sup>nd</sup> Ave. South  
Birmingham, AL 35233

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