



Board of Adjustments Agenda

281 James D. Nabors Drive

Public Works Briefing Room

Thursday, November 16, 2023 --- Meeting at 11:00 a.m.

Call to Order:

Roll Call:

Approval of Minutes: October 19, 2023 Regular Meeting Minutes

Approval of Agenda: November 16, 2023

Old Business: None

New Business:

1. Hearing of Appeal(s):

2023-08 Petition for a Special Exception – Petition for a special exception for a property zoned R-R that was demolished by a tornado to allow for the boathouse to be rebuilt and to add an addition to their house with smaller front and rear yard setbacks.

Deborah Owen
275 Loblolly Lane
Alexander City, AL 35010

Reports from City of Alexander City: None

Comments:

Adjournment:



Board of Adjustments Minutes

281 James D. Nabors Drive

Public Works Meeting Room

Thursday, October 19, 2023 --- Meeting at 11:00 a.m.

CALL TO ORDER BOARD OF ADJUSTMENTS MEETING: Board of Adjustments Chairperson Kristen Powell called the meeting to order at 11:05 a.m. on Thursday, October 19, 2023, in the Municipal Complex Public Works Meeting Room. Members Jimmy Joiner, Roman Kellum, Tyler McKinney, Kristen Powell, and Kirby Scales were present.

Absent: Adam Blankenship

Others present included: Caroline Brown, Deborah Owen, and John T. Owen

APPROVAL OF THE MINUTES: September 21, 2023

Member Kirby Scales made a motion to approve the September 21, 2023, Regular Meeting Minutes as presented. The motion was seconded by Member Roman Kellum. There being no discussion, the minutes were approved with the following roll call vote.

YEAS: JOINER, KELLUM, MCKINNEY, POWELL, SCALES

NAYS: NONE

APPROVAL OF THE AGENDA: October 19, 2023

Member Kirby Scales made a motion to approve the October 19, 2023, Regular Meeting Agenda as presented. The motion was seconded by Member Roman Kellum. There being no discussion, the minutes were approved with the following roll call vote.

YEAS: JOINER, KELLUM, MCKINNEY, POWELL, SCALES

NAYS: NONE

OLD BUSINESS: NONE

NEW BUSINESS:

1. Appeal Case 2023-07: Deborah Owen petitioned for a special exception for a property zoned R-R that was demolished by a tornado to allow for the house to be rebuilt with smaller front and rear yard setbacks. Member Roman Kellum made a motion to approve the petition for a special exception to allow a front yard setback of 33' and a rear yard setback of 30' at 275 Loblolly Lane in Alexander City, AL. The motion was seconded by Member Kirby Scales. There being no further discussion, the motion was approved with the following roll call vote.

YEAS: JOINER, KELLUM, MCKINNEY, POWELL, SCALES

NAYS: NONE

ADJOURNMENT: There being no further business to come before the Board, Member Kirby Scales made a motion to adjourn. The motion was seconded by Member Jimmy Joiner. The members voted to adjourn the meeting with the following roll call vote. The meeting adjourned at 11:22 a.m.

YEAS: JOINER, KELLUM, MCKINNEY, POWELL, SCLAES

NAYS: NONE

Board of Adjustments Chairman

Secretary



**ALEXANDER
CITY**
ALABAMA

P.O. Box 552 • Alexander City • Alabama 35011-0552 • (256) 329-6700

www.alexandercityal.gov

Petition for Variance Application

Property owners in the City of Alexander City who desire relief from certain requirements of the zoning ordinance that create a specific hardship for the property owner must file a Petition for Variance. To file a petition, please complete the following form and return it with all necessary supporting documents. Incomplete applications will not be processed.

Applicant Information:

Name of Applicant: Steve Merrick

Mailing Address: 3600 Loblolly Lane Alexander City, AL 35010

Business Hours Telephone #: _____ Alt. Phone #: 205.913.7665

Email address: merrickse@gmail.com

Property Information:

Name of Owner(s), if different from above: _____

Street Address of Subject Property: 3600 Loblolly Lane Alexander City, AL 35010

Tax Map & Lot Number of Property: _____

Size of Subject Property: 1 [] Acres [] SqFt

Current Zoning Classification of Subject Property: R-R

Current Use of Subject Property: Residential

Nature of the Hardship: Property damaged by a tornado

Nature of Relief Requested by Petitioner: Special exception to allow smaller setbacks to rebuild

Certifications:

Applicant:

I hereby certify and attest that, to the best of my knowledge and abilities, the information provided in this petition is true and accurate. Further, I agree to provide any additional information within my powers that may be required by the Enforcement Officer or the Board of Adjustment to determine the need for a variance. Finally, I hereby agree to reimburse the City of Alexander City, Alabama for the cost of all public hearing advertisement costs required for the processing of this application.

Applicant's Signature

Date

Property Owner:

I hereby certify and attest that, to the best of my knowledge and abilities, the information provided in this petition is true and accurate. Further, I agree to provide and additional information within my powers that may be required by the Enforcement Officer or the Board of Adjustment to determine the need for a variance.

Property Owner's Signature

Date

Submit completed application and any supporting documents to:

Attn: Petition for Variance Application
City of Alexander City
P.O. Box 552
Alexander City, AL 35011

For questions, call (256) 329-6712

INTERNAL USE ONLY

Date Filed: 11.2.23 Received by: Amelie Brown

Application Fee Received: \$ 90.00 Cash Card Check # _____

Date Reviewed: _____ Decision: Approved Denied

Enforcement Officer's Signature: _____

Board of Adjustments Action: Recommend Approval Recommend Denial

Board of Adjustment Findings and Conclusions:

Board of Adjustments Chairman Signature

Date

Called left message to call back 11-7-23 -CB

*Refer to BOA

DENIED



P.O. Box 552 • Alexander City • Alabama 35011-0552 • (256) 329-6700

www.alexandercityal.gov

Zoning Permit Application

The purpose of the Zoning Permit Application is to establish compliance with the Zoning Ordinance prior to commencement of construction activities. Such activities shall include site preparation and excavation for the construction of new buildings (including accessory or temporary structures), moving any structures onto a property, relocating existing structures on a property, alteration or repair of a structure (excluding painting, interior remodeling, or any alteration or repair activity that will not change the character, size, or position of the structure as it exists on the property).

Applicant must receive an approved Zoning Permit prior to commencement of construction activities. Approval of said permit shall not imply or constitute approval of any other applicable permit requirements including, but not limited to, subdivision plat approval, building permits, septic-system approval from the Tallapoosa County Health Department, and wetland permits from the U.S. Army Corps of Engineers.

Please complete all applicable information below. Incomplete applications will not be processed.

Applicant Information:

Name of Applicant: Steve Merrick
Mailing Address: 360 Loblolly Lane, Alexander City, AL 35010
Business Hours Telephone #: Alt. Phone #: (205) 913-7665
Email address: MERRICKSE@gmail.com

Property Information:

Name of Owner(s), if different from above:
Street Address of Subject Property: 360 Loblolly Lane, Alexander City, AL 35010
Tax Map & Lot Number of Property:
Size of Subject Property: 1 [x] Acres [] SqFt
Current Zoning Classification of Subject Property: Residential - R-R
Does the Subject Property Contain any Existing Structures? [x] Yes [] No
Was the Property (if vacant) or Existing Improvement(s) created or constructed prior to the effective date of the Zoning Ordinance? [x] Yes [] No

Project Information:

Do you propose to: (Please check all activities that apply to your project.)

- Construct a new building or accessory structure on the property? (Addition on House)
- Move a new or used structure onto the property?
- Construct an addition to an existing building or accessory structure on the property?
- Move or relocate an existing building or accessory structure to a new location on the subject property?
- Replace or repair a building or accessory structure that was damaged or destroyed by fire or act of God?
- Erect a sign?
- Erect a telecommunication tower, antenna, or associated facilities?
- Other activity (please explain):

Please attach one reproducible copy of a site plan showing the proposed project activities. The site plan must show the entire boundaries of the subject property and must be drawn to scale in ink, preferably by a licensed and certified or registered surveyor, architect, or engineer. For single family residential projects, the required site plan may be drawn to scale on a survey plat contained in a closing document or a copy of the tax map showing the subject property. In addition, the site plan must contain or show the following information as may be applicable to the subject property or project, except where special site plan instructions are specified within the Zoning Ordinance for special development activity:

- A. A north arrow.
- B. A scale bar.
- C. The length in feet of all property lines
- D. The outline of all existing buildings or structures and any proposed buildings, structures, impervious surfaces, or building additions on the property in their proper locations. (New buildings or additions should be hatched).
- E. The shortest distance in feet from all property lines to the closest point on any existing building or accessory structure or proposed new construction on the property.
- F. The minimum width in feet (between opposing property lines of the property).
- G. The maximum height in feet of any proposed new structure or addition.
- H. The location of any existing or proposed street access or curb cut.
- I. The location of any existing streams, lakes, ponds, or rivers on the property.
- J. The boundaries of any floodway or 100-year Flood Hazard Area on the property as identified on the applicable Flood Insurance Rate Map.
- K. Any boundaries of the Alabama Power Flood Easement on the property.
- L. The outline and location of any existing or proposed septic system and associated leach field on the property.

INTERNAL USE ONLY

Date Filed: 11-1-23

Received by: [Signature]

Date Reviewed: 11/7/23

Decision: [] Approved [] Denied

Enforcement Officer's Signature: [Signature: Amanda J. Thomas]

Review Checklist (To be completed by Enforcement Officer Only):

- Proposed Land Use: [] Allowed in Zone [] Not Allowed (Rezoning Required)
- Lot Size/Area: [] Complies/Grandfathered [] Too small (Variance Required)
- Lot Width: [] Complies/Grandfathered [] Too small (Variance Required)
- Street Frontage: [] Complies/Grandfathered [] Too small (Variance Required)
- Front Yard: [] Complies/Grandfathered [] Too small (Variance Required)
- Side Yard: [] Complies/Grandfathered [] Too small (Variance Required)
- Rear Yard: [] Complies/Grandfathered [] Too small (Variance Required)
- Impervious Surfaces: [] Complies/Grandfathered [] Exceeds limits (Variance Needed)
- Dwelling Size: [] Complies/Grandfathered [] Too small (Variance Required)
- Building Height: [] Complies/Grandfathered [] Too high (Variance Required)

Special Requirements/Conditions (required buffers, setbacks, etc.):

Other Permits/Approvals Required:

Approval Conditions/Reasons for Denial (if necessary):

Board of Adjustments

*Does not meet Zoning Requirements for setbacks
(JJ) 11-7-23

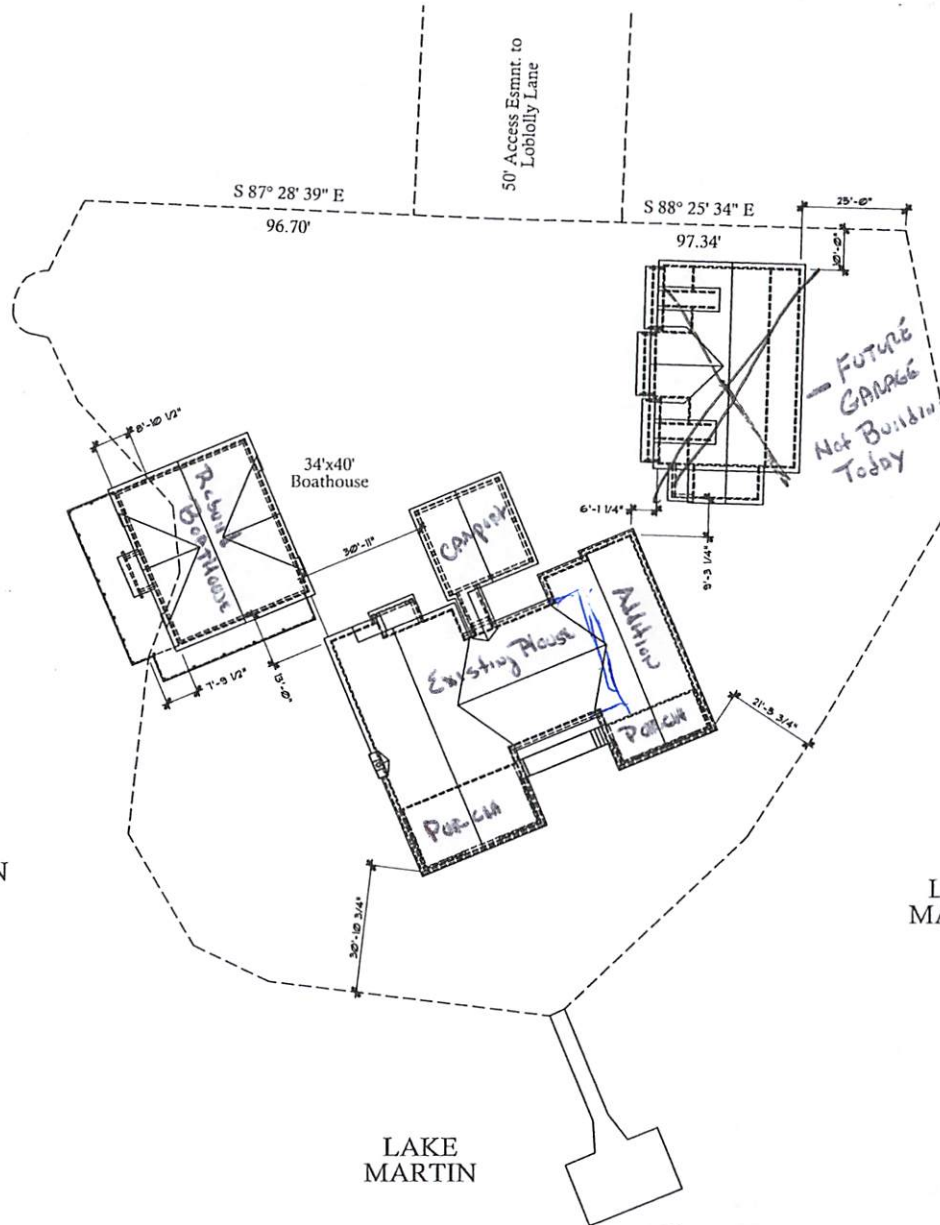
LAKE
MARTIN

LAKE
MARTIN

LAKE
MARTIN

LAKE
MARTIN

LAKE
MARTIN



Steve Merrick
360 Loblolly Lane
Alexandria City AL 35010
(205) 913-7665
merrickse@gmail.com

34'x40' Boathouse
8-17-2023

Stephen W. Alexander
☆ Custom Residential Design ☆
Wetumpka, Alabama
334-612-1870

© COPYRIGHT 2023 by Stephen W. Alexander

ELEVATION CERTIFICATE REQUIREMENTS

NEW CONSTRUCTION/SUBSTANTIAL IMPROVEMENT

- PRE-CONSTRUCTION
- COMPLETE
- N/A

- LOWEST FLOOR
- COMPLETE
- N/A

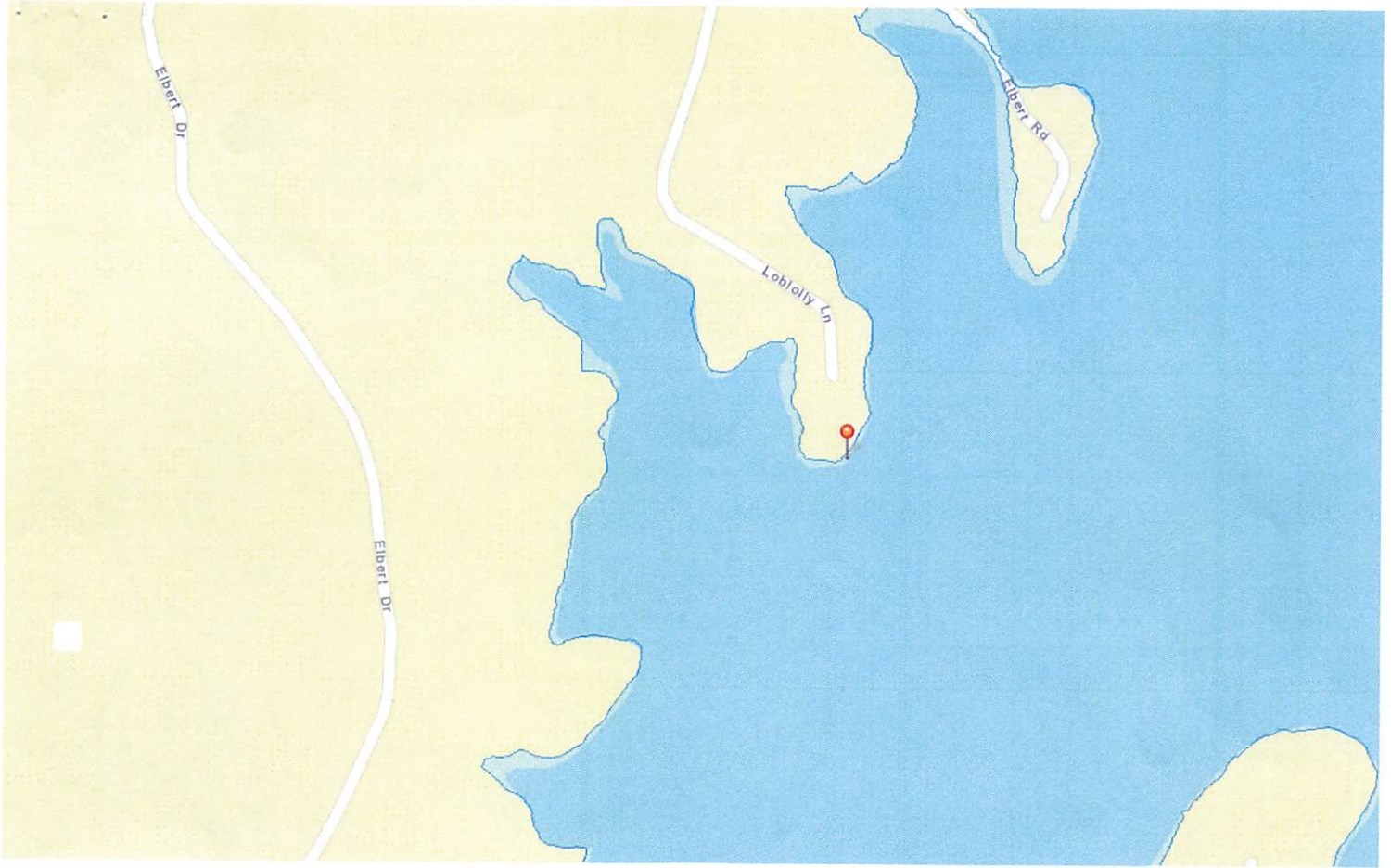
- FINAL
- COMPLETE
- N/A

BFE-491.9
FFE-496-

PROPERTY ADDRESS: 360 Loblolly Lane

ZONE: X

DATE OF REVIEW: 11-7-23



All Layers ▼ ✕

<< < 1 2 3 4 > >>

1% Water Surface Elevation
(Regulatory Effective)

📍 Zoom to Feature

Water Surface Elevation 491.9'
(NAVD88)

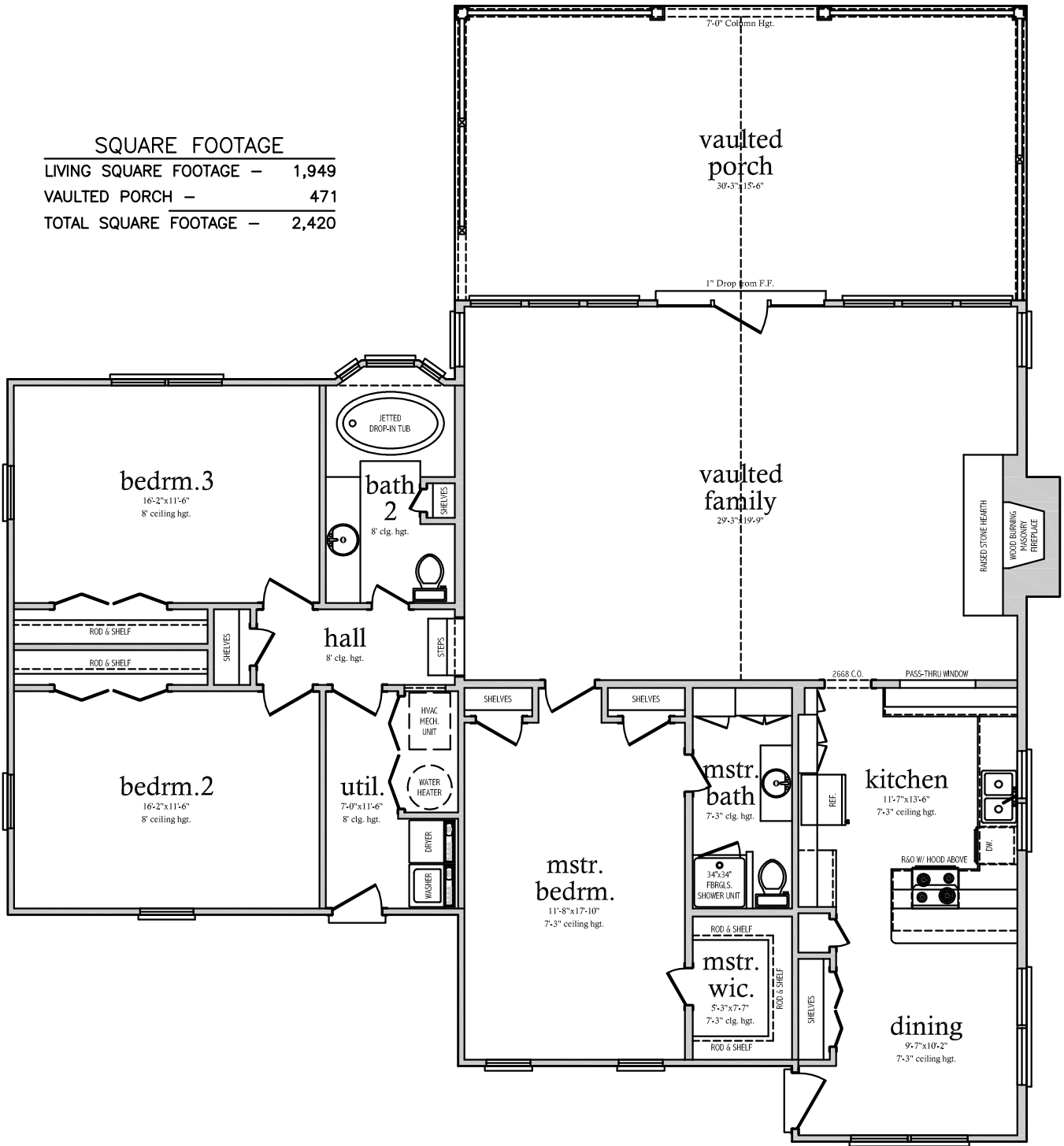
☰ Switch to Table View

BFE - 491.9
FFE - 496



11-2-23
Spoke w/mr. Merrick
waiting on Bldg. plans.

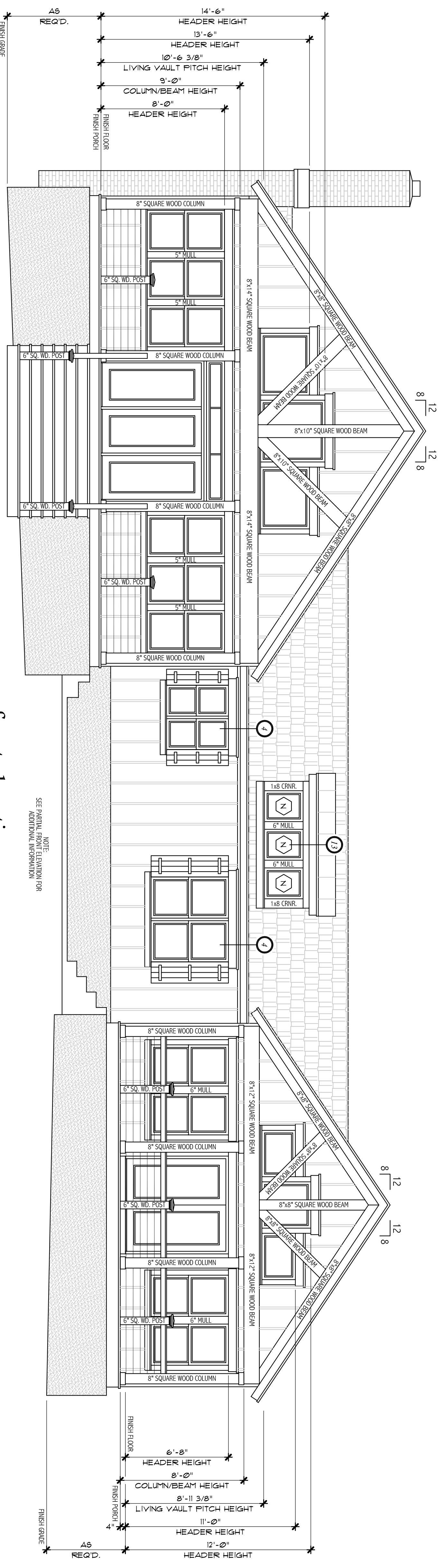
SQUARE FOOTAGE	
LIVING SQUARE FOOTAGE -	1,949
VAULTED PORCH -	471
TOTAL SQUARE FOOTAGE -	2,420



floor plan

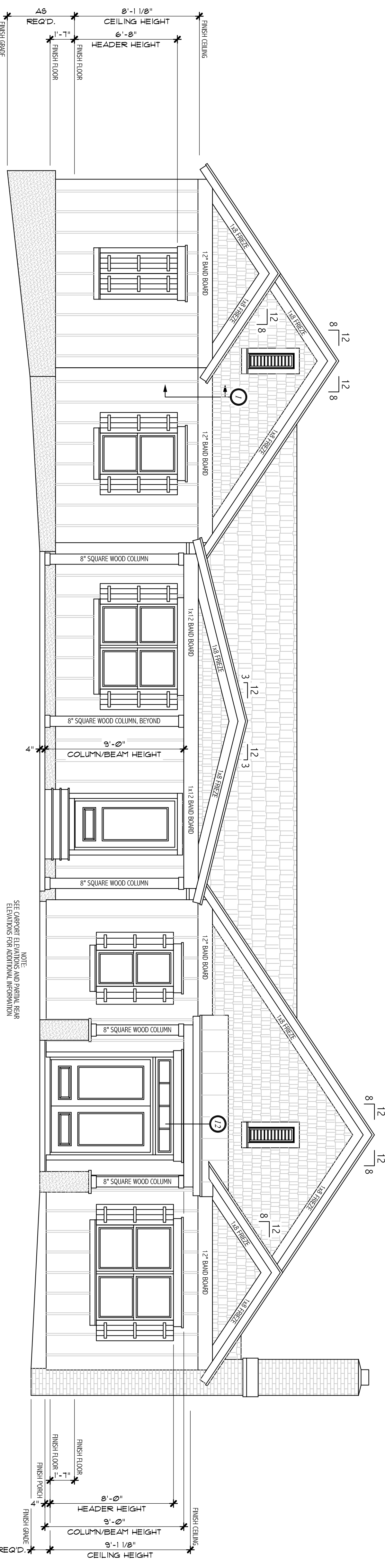
13723-19 3-1-2023

Stephen W. Alexander
 ☆ Custom Residential Design ☆
 Wetumpka, Alabama
 334-612-1870



front elevation
SCALE: 1/4" = 1'-0"

NOTE:
SEE PARTIAL FRONT ELEVATION FOR
ADDITIONAL INFORMATION



rear elevation
SCALE: 1/4" = 1'-0"

NOTE:
SEE PORCH ELEVATIONS AND PARTIAL REAR
ELEVATION FOR ADDITIONAL INFORMATION

FINISH LEGEND

	ROUND BATTEN SIDING
	HORIZONTAL SIDING
	SHAKE SIDING
	BRICK/GLAZED TILES
	STONE/GRAVEL
	METAL ROOF
	ARCHITECTURAL SHINGLE

DISCLAIMER:

- This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
- This design is copyrighted and these plans are clearly marked by the circle-C symbol and is therefore protected by all applicable state and federal copyright laws.
- The designer shall not be held liable for the quality of construction and materials, eradic conditions, any work performed by others, or for any damages that are made to these plans by others.
- Any discrepancies that are discovered between the design and the actual construction shall be the responsibility of the contractor and shall be reported to the designer for evaluation.
- It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a licensed Building Contractor for all applicable building codes and/or building codes in your region.
- The Builder/Contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
- All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
- The designer shall not be held liable for any construction practices used in the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes and International Residential Codes for one and two family dwellings.

Stephen W. Alexander
 Custom Residential Design
 Wetumpka, Alabama
 334-612-1870

A RESIDENCE FOR:
THE MERRICK FAMILY
 EXTERIOR ELEVATIONS

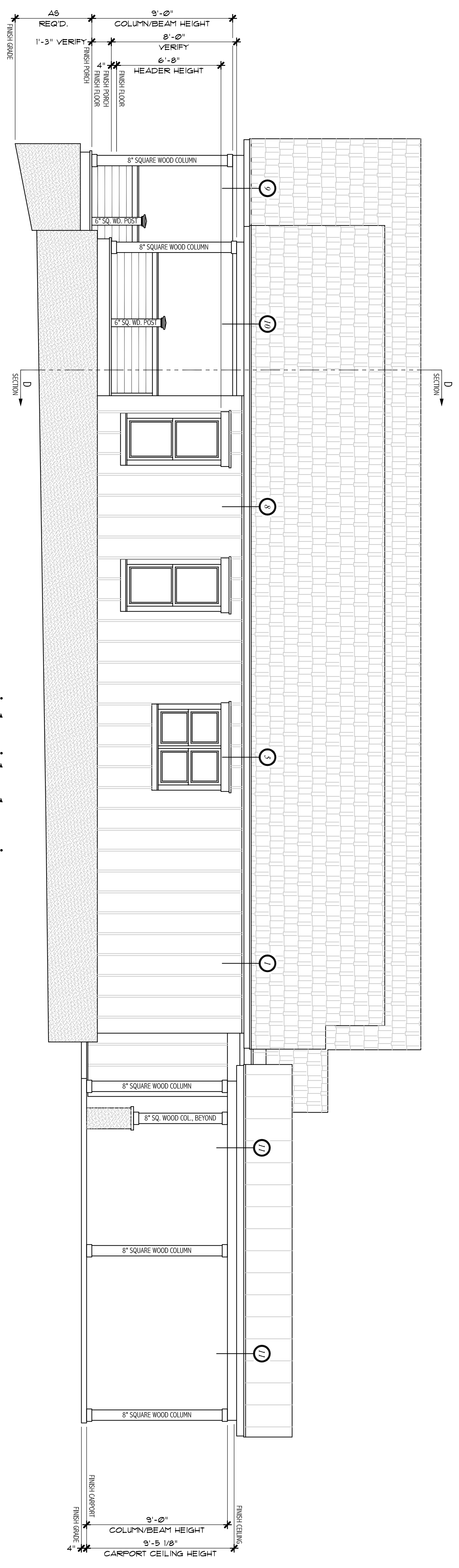
SQUARE FOOTAGES

EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR GARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

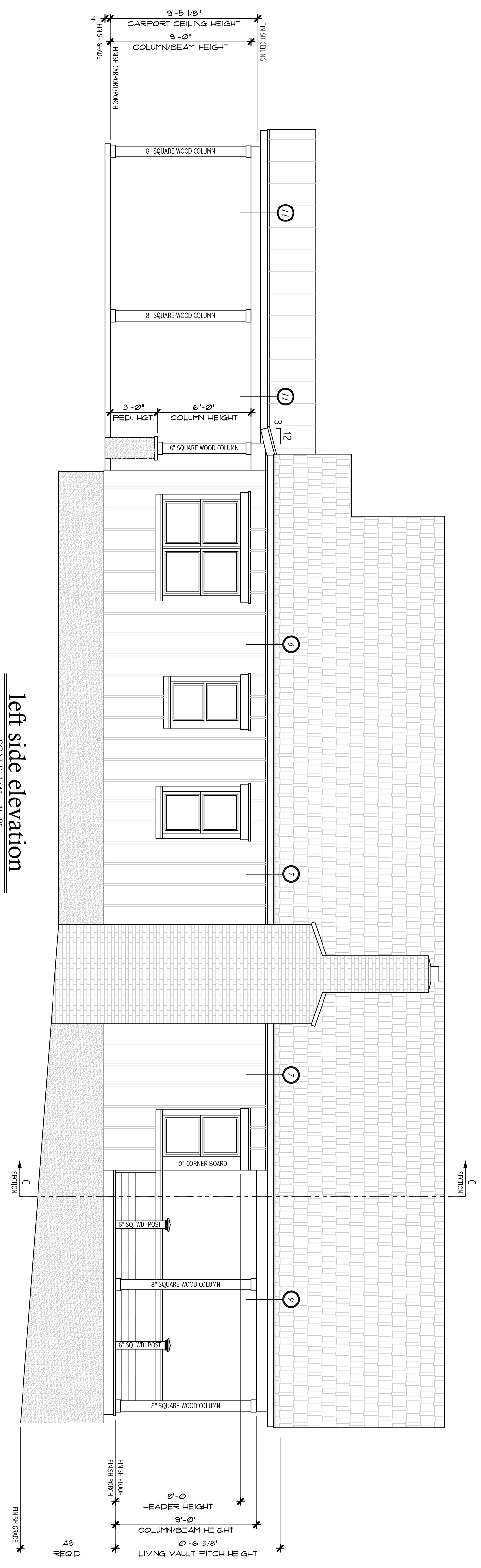
DATE
5-30-2023
 PROJECT NUMBER
13723-28 MH
 SHEET 1 OF 11

DISCLAIMER :

1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
2. This design is copyrighted and these plans are clearly marked by the circle-C symbol and is therefore protected by all applicable laws.
3. The designer is not responsible for the quality of construction and materials, workmanship, or for any damages that are made to these plans by others.
4. Any discrepancies that are discovered after construction has been completed shall be reported to the designer for evaluation.
5. It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a licensed Building Contractor for compliance with all local and state building codes in your region.
6. The Builder/Contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
7. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to ensure that the foundation design is adequate for the soil conditions that exist at the site of construction.
8. The designer is not in compliance with the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes and International Residential Codes for one and two family dwellings.



right side elevation
SCALE: 1/4" = 1'-0"



left side elevation
SCALE: 1/4" = 1'-0"

FINISH LEGEND

[Pattern]	BOARD BATTEN SIDING
[Pattern]	HORIZONTAL SIDING
[Pattern]	SHAKE SIDING
[Pattern]	BRICK/GIRKCE Pavers
[Pattern]	STONE/STUCCO
[Pattern]	METAL ROOF
[Pattern]	ARCHITECTURAL SHINGLE

A RESIDENCE FOR:
THE MERRICK FAMILY

EXTERIOR ELEVATIONS

Stephen W. Alexander
★ Custom Residential Design ★
Wetumpka, Alabama
334-612-1870

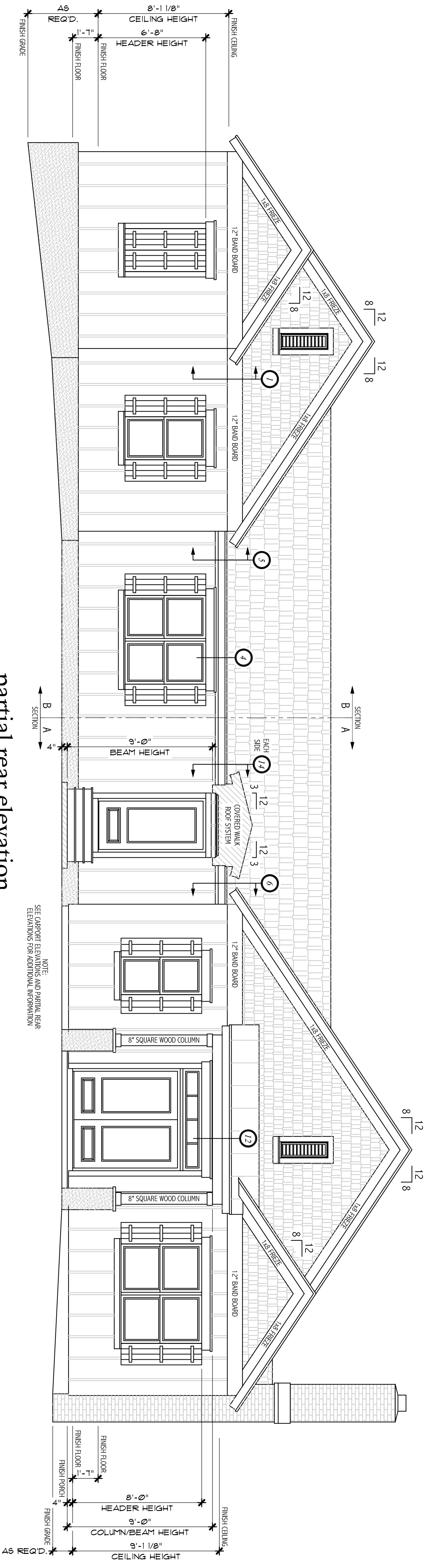
SQUARE FOOTAGES

EXISTING LIVING -	1,956
ADDITION LIVING -	1,919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR CARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

DATE
5-30-2023

PROJECT NUMBER
13723-28 MH

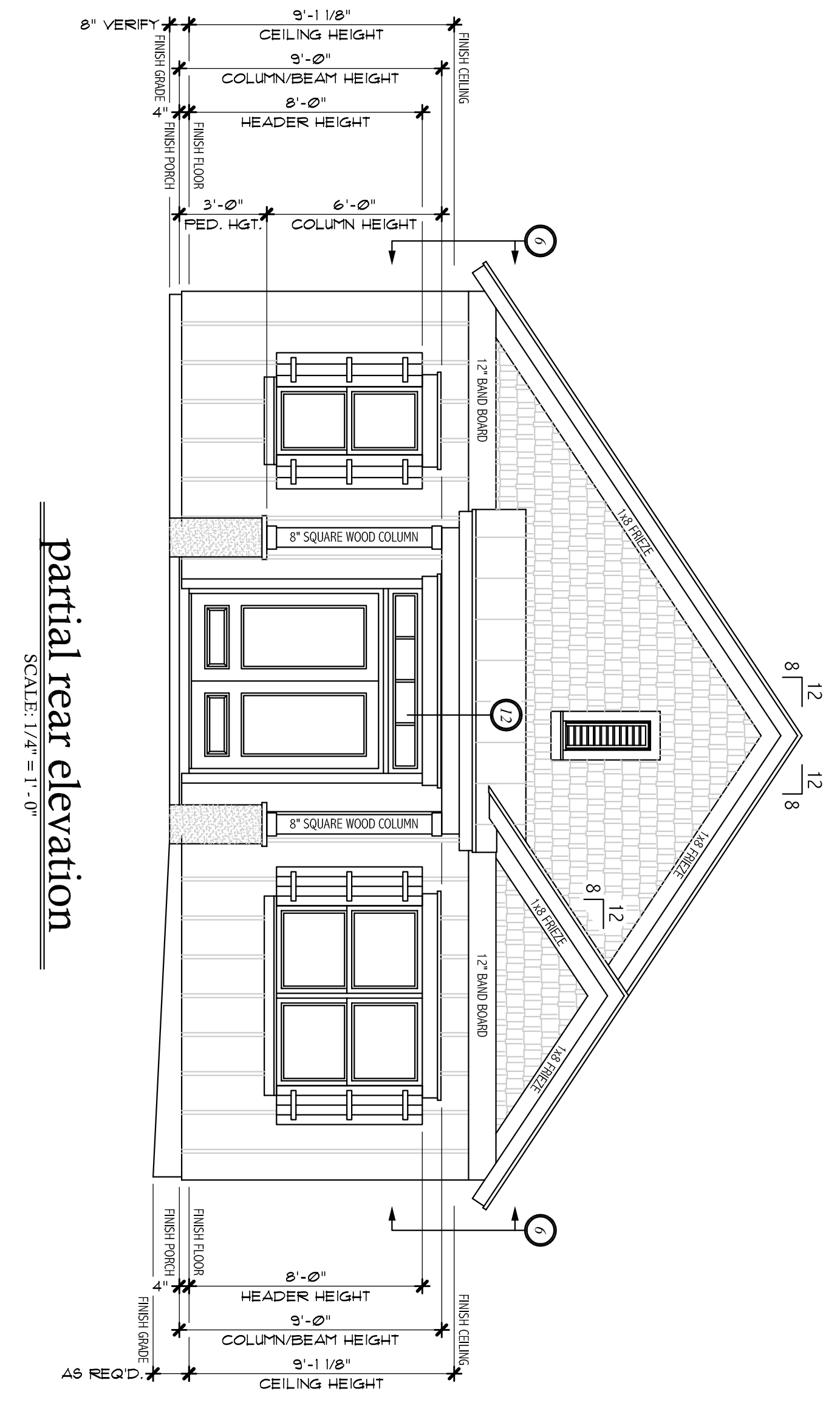
SHEET **2** OF **11**



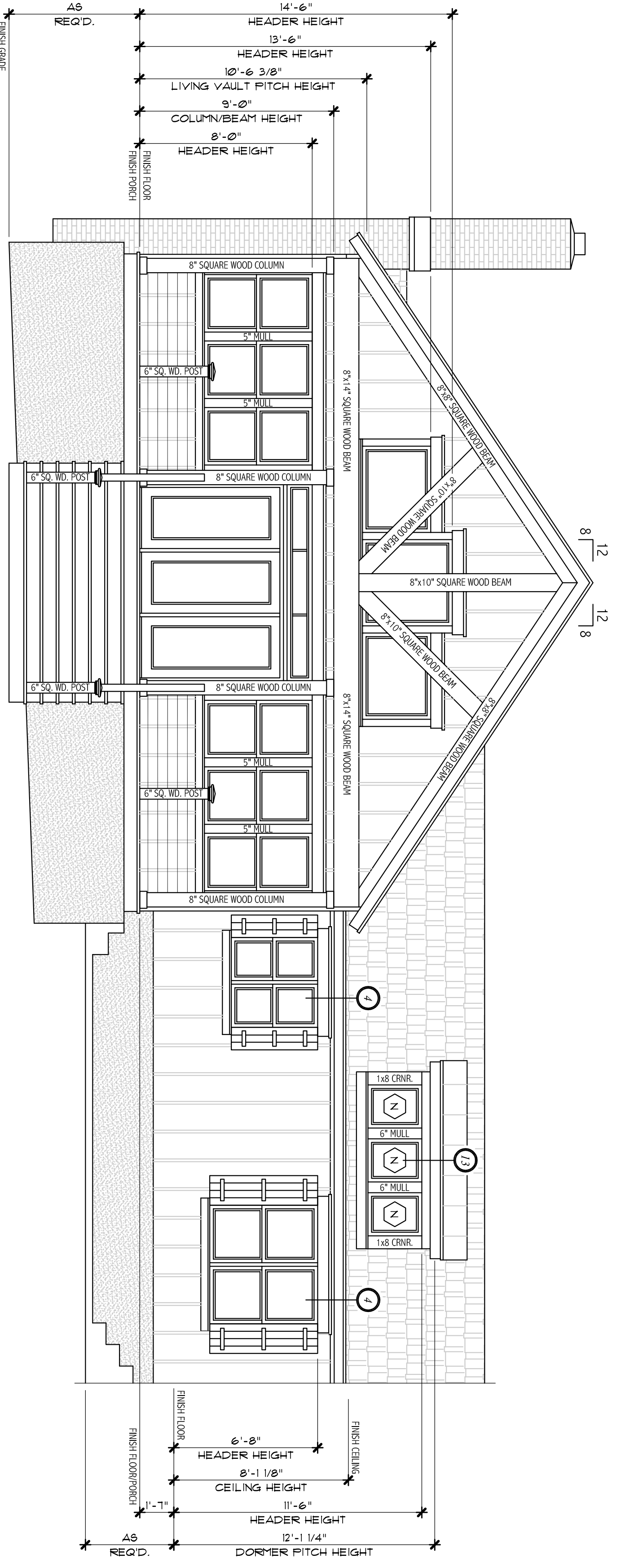
partial rear elevation
SCALE: 1/4" = 1'-0"

FINISH LEGEND

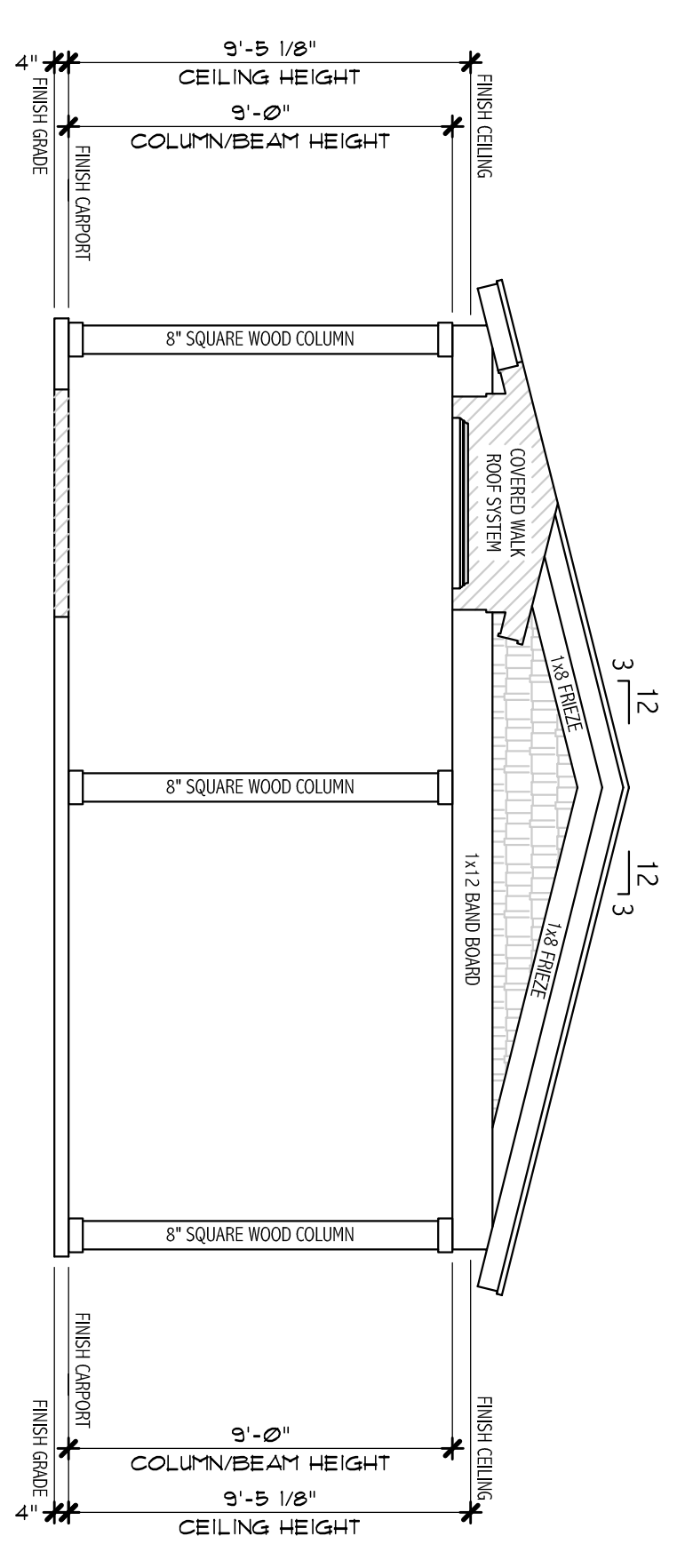
[Pattern]	BAND BATTEN SIDING
[Pattern]	HORIZONTAL SIDING
[Pattern]	SHAKE SIDING
[Pattern]	BROWN/BLACK PAINTS
[Pattern]	STONE/STUCCO
[Pattern]	HEAVY ROOF
[Pattern]	ARCHITECTURAL SINGLE



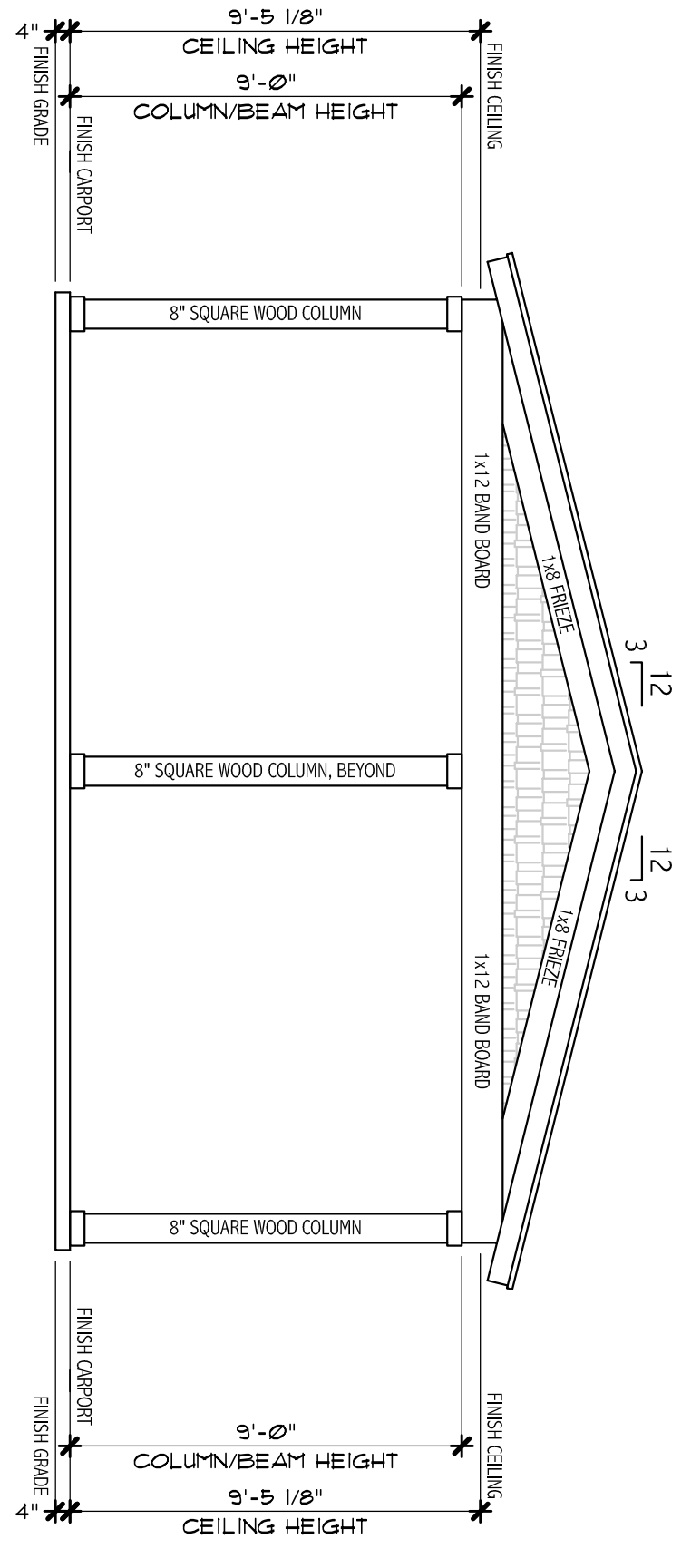
partial rear elevation
SCALE: 1/4" = 1'-0"



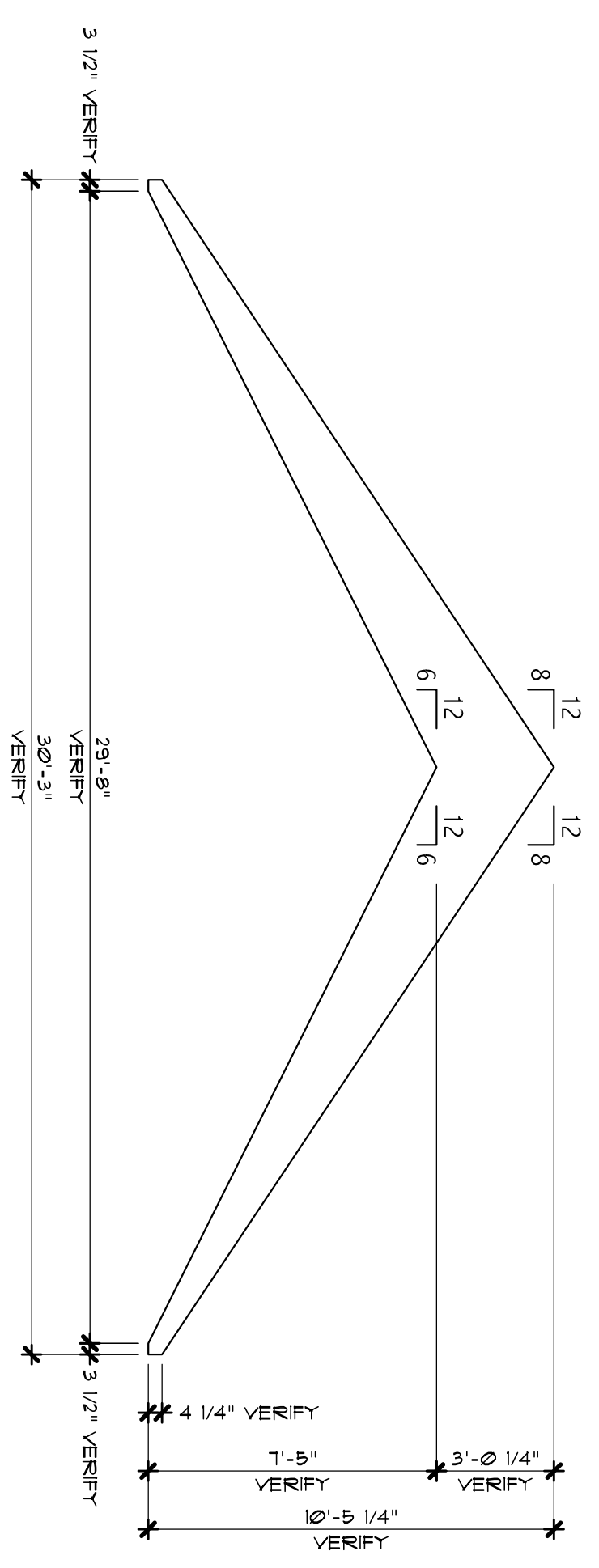
partial front elevation
SCALE: 1/4" = 1'-0"



carport rear elevation
SCALE: 1/4" = 1'-0"



carport front elevation
SCALE: 1/4" = 1'-0"



scissor truss diagram
SCALE: 1/4" = 1'-0"

DISCLAIMER:

- This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the express written consent of the designer for any purpose.
- This design is copyrighted and these plans are clearly marked by the circle-C symbol and is therefore protected by all applicable state and federal copyright laws.
- The designer shall not be held liable for the quality of construction and materials, or for any damages that are made to these plans by others.
- Any discrepancies that are discovered after construction has begun shall be reported to the designer for evaluation.
- It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a licensed Building Contractor for all applicable local, state, and federal building codes in your region.
- The builder/contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any work.
- All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site.
- The designer does not comply with the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes for one and two family dwellings.

Stephen W. Alexander
 Custom Residential Design
 Wetumpka, Alabama
 334-612-1870

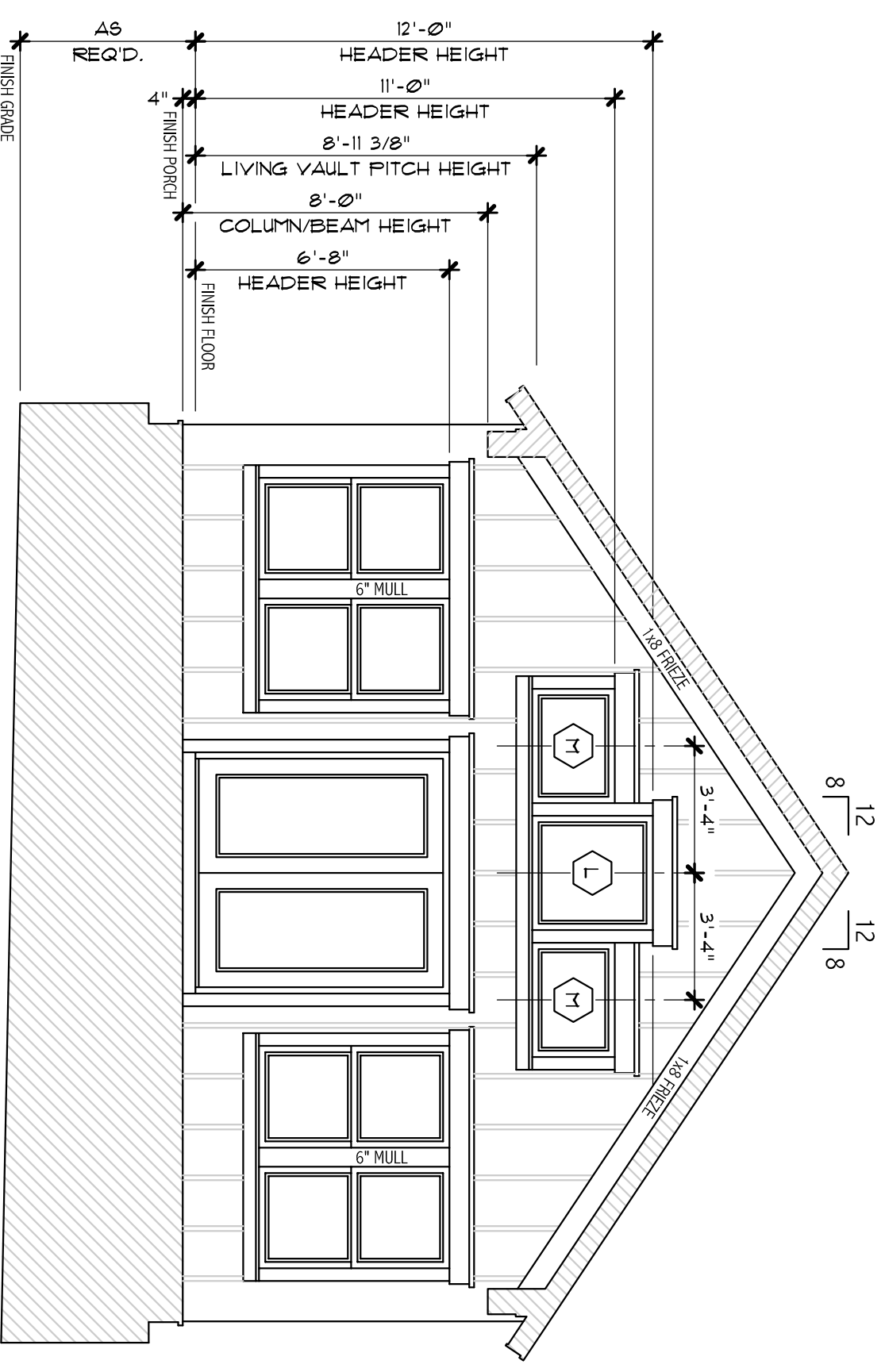
A RESIDENCE FOR:
THE MERRICK FAMILY

EXTERIOR ELEVATIONS
 SCISSOR TRUSS DIAGRAM

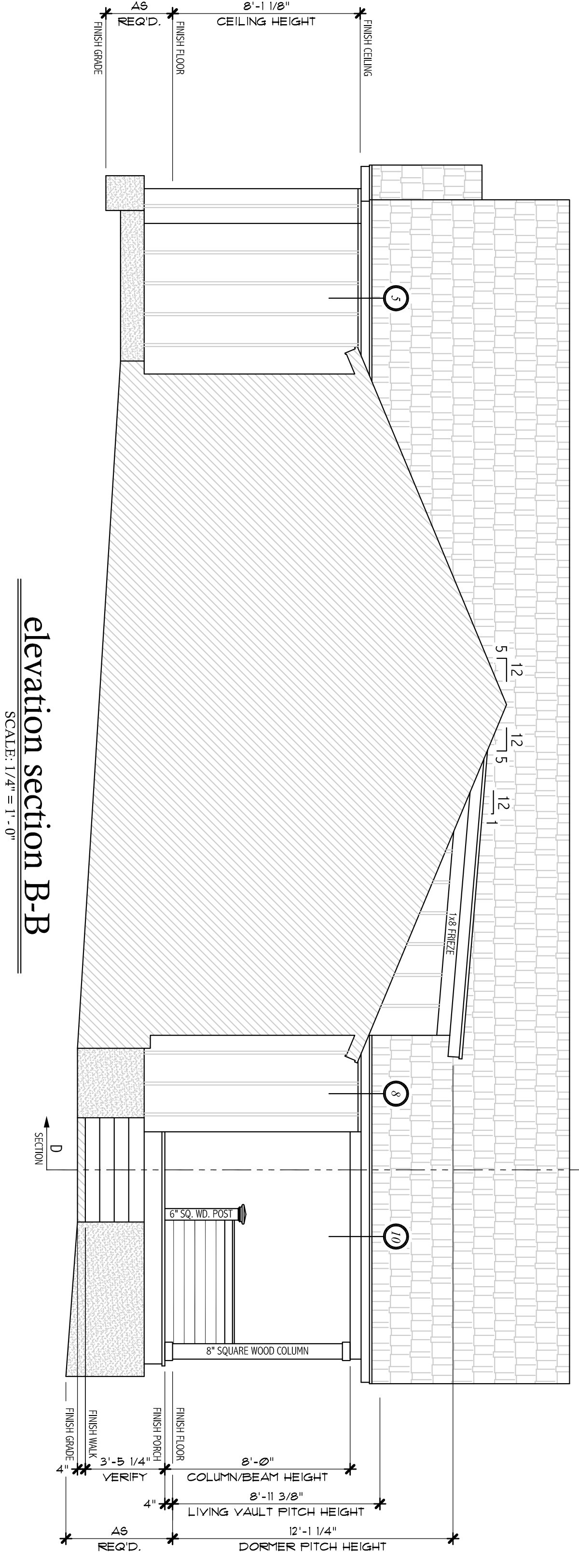
SQUARE FOOTAGES

EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR CARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

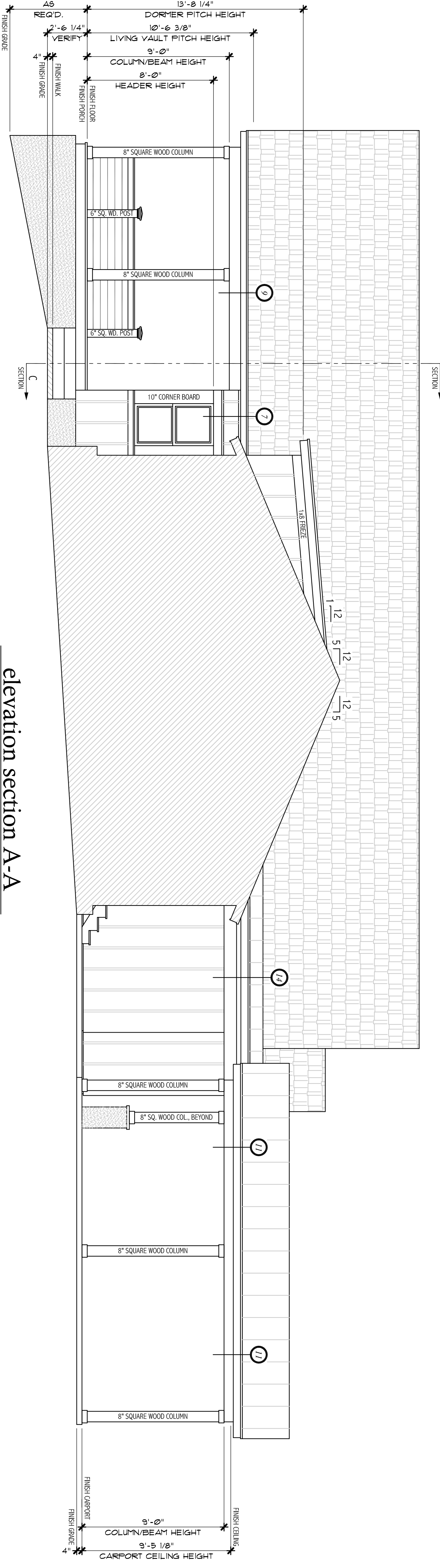
DATE: 5-30-2023
 PROJECT NUMBER: 13723-28 MH
 SHEET 3 OF 11



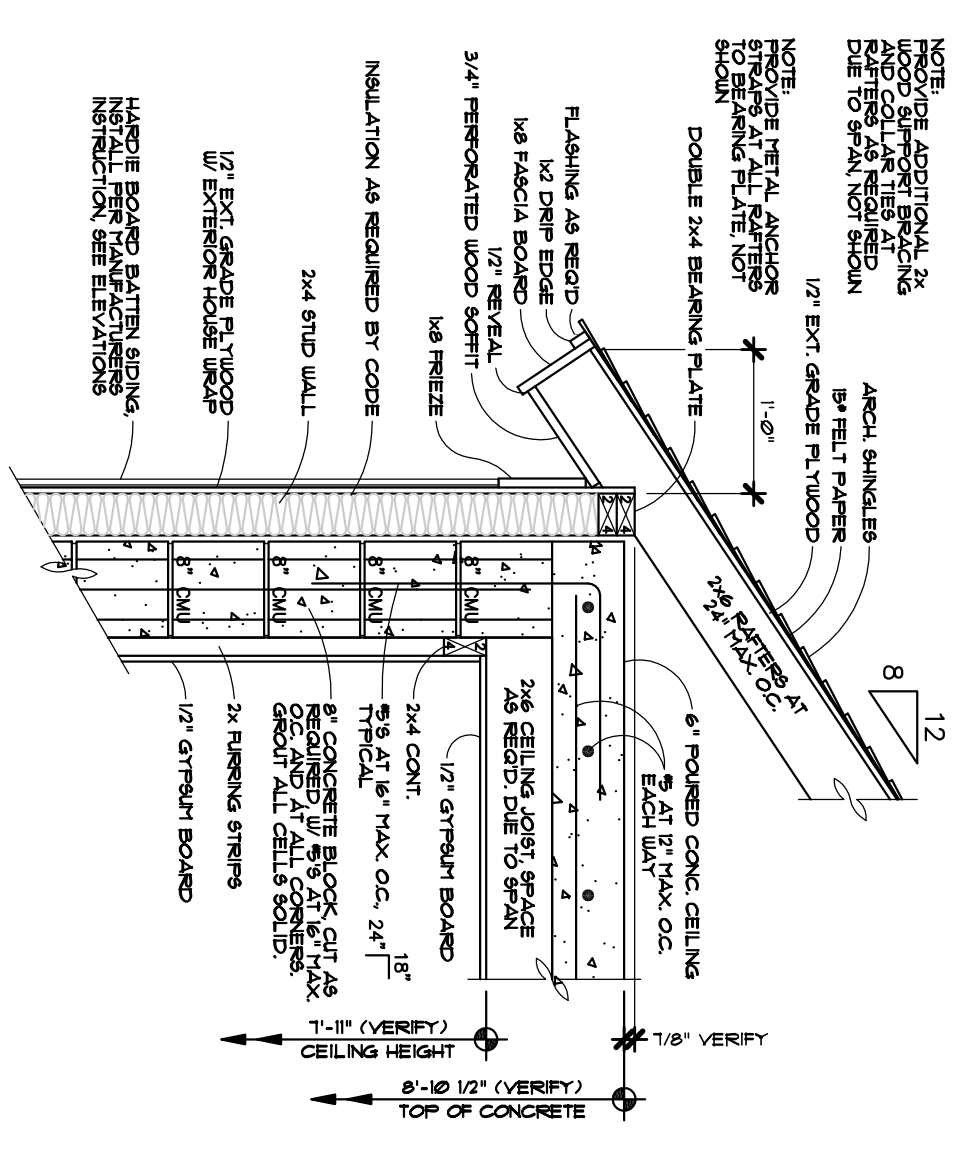
elevation section D-D
SCALE: 1/4" = 1'-0"



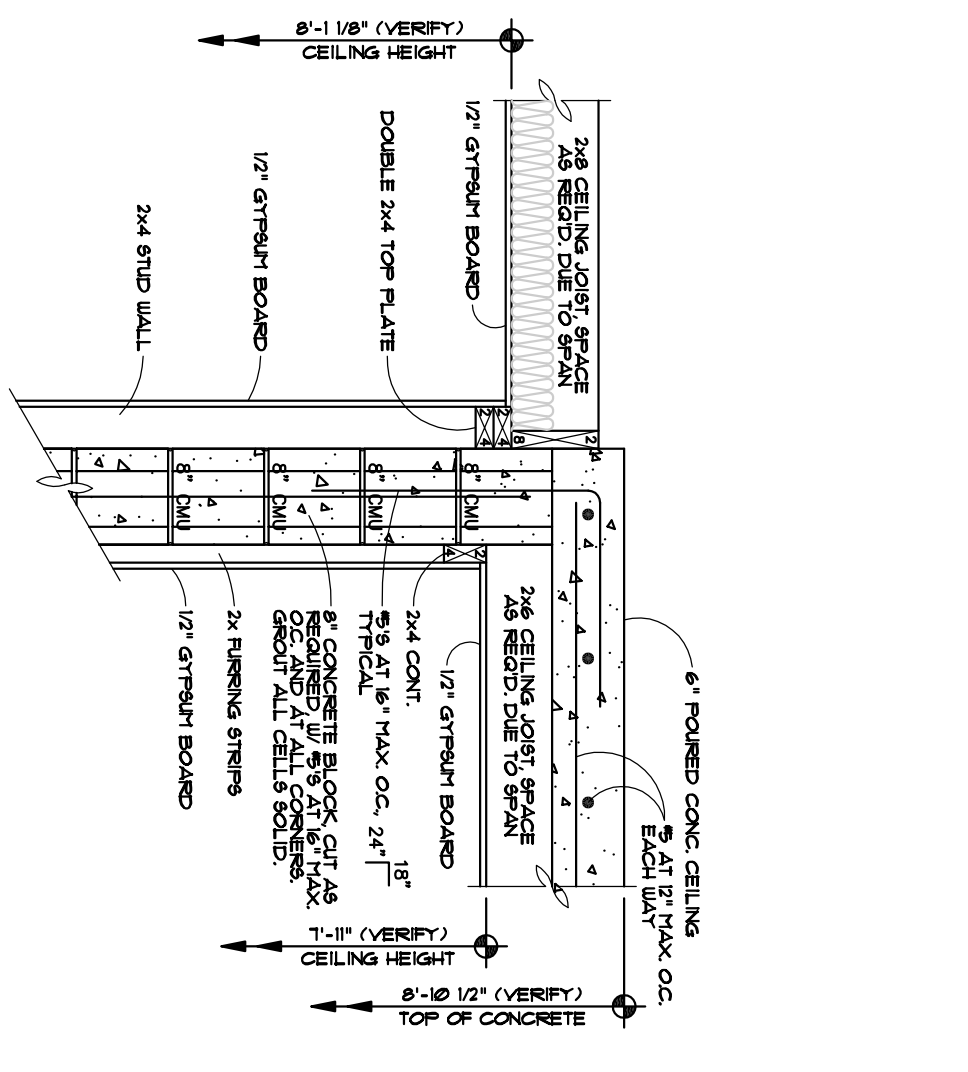
elevation section B-B
SCALE: 1/4" = 1'-0"



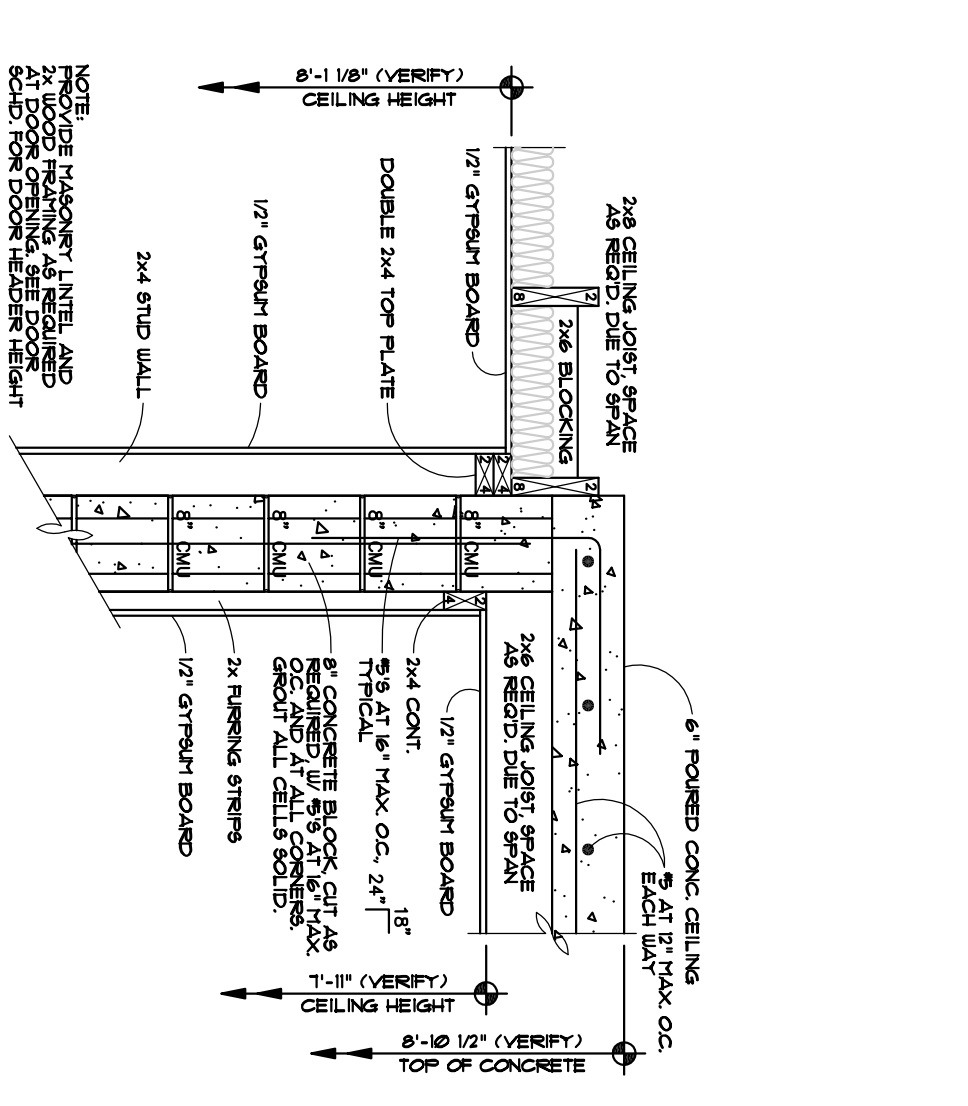
elevation section A-A
SCALE: 1/4" = 1'-0"



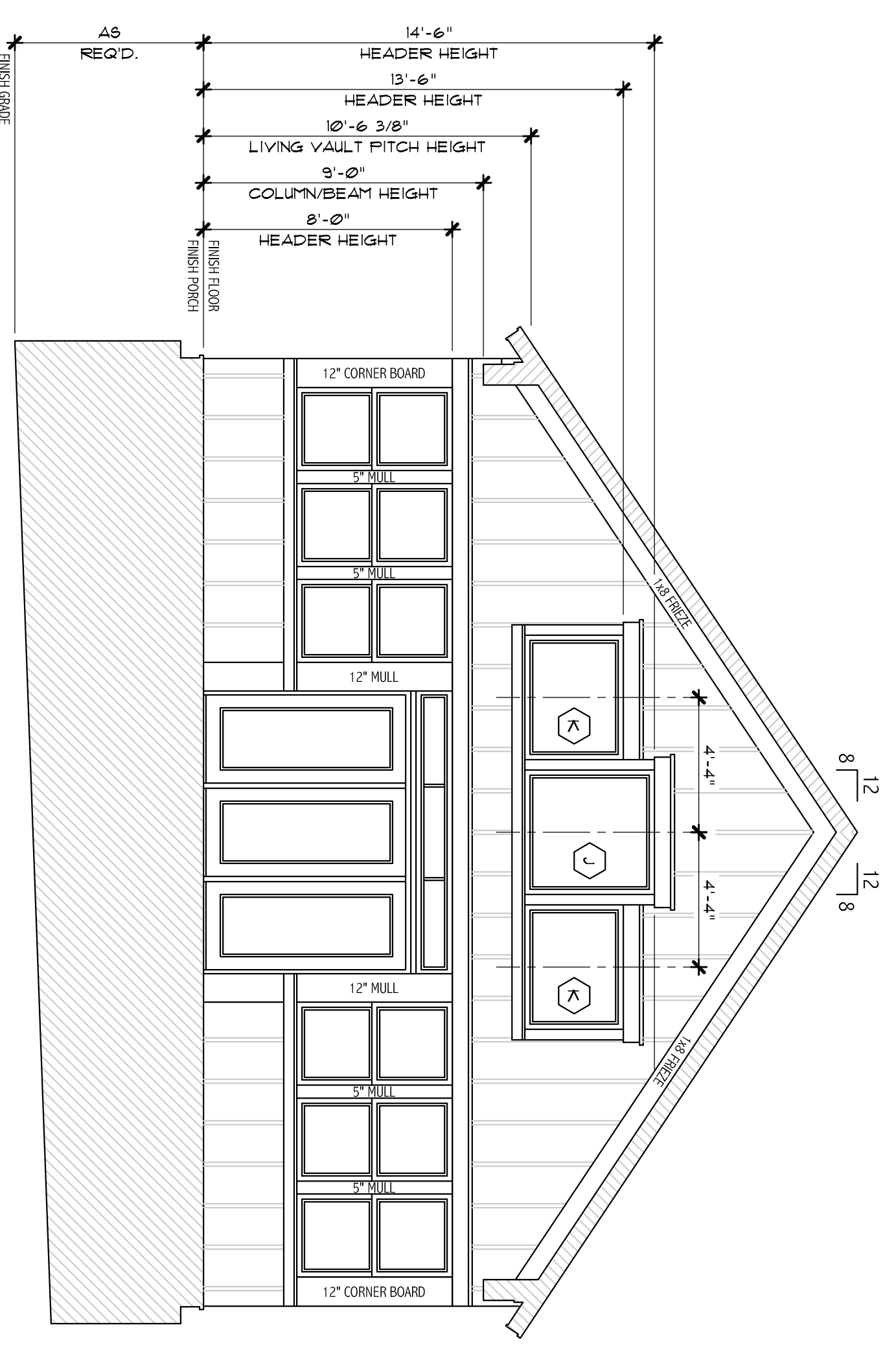
1 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



2 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



3 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



elevation section C-C
SCALE: 1/4" = 1'-0"

FINISH LEGEND

	BOARD BATTENS SIDING
	HORIZONTAL SIDING
	SHAKE SIDING
	BRICK/BLOCK PAVERS
	STONE/STUCCO
	METAL ROOF
	ARCHITECTURAL SHINGLE

DISCLAIMER:

- This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
- This design is completed and these plans are clearly marked by the code C symbol and is therefore protected by all applicable laws.
- The designer does not accept liability for the quality of construction and materials, or for any damages that are made to these plans by others.
- Any discrepancies that are discovered after construction has begun shall be reported to the designer for evaluation.
- It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a Licensed Building Contractor for compliance with all local and state dimensions, conditions, and construction requirements before the beginning of any construction.
- The builder/contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
- All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
- All construction practices used in the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes for one and two family dwellings.

Stephen W. Alexander
 Custom Residential Design
 Wetumpka, Alabama
 334-612-1870

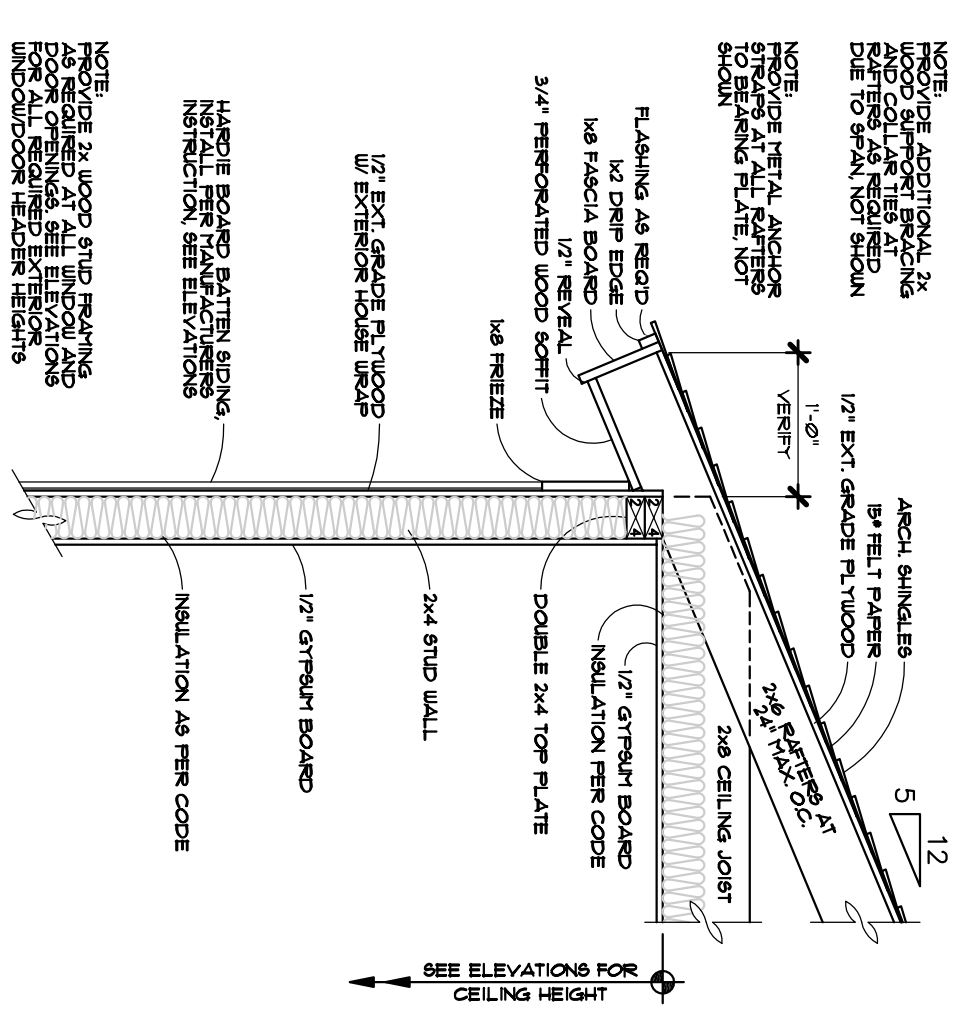
A RESIDENCE FOR:
THE MERRICK FAMILY

EXTERIOR ELEVATIONS
 CONSTRUCTION DETAILS

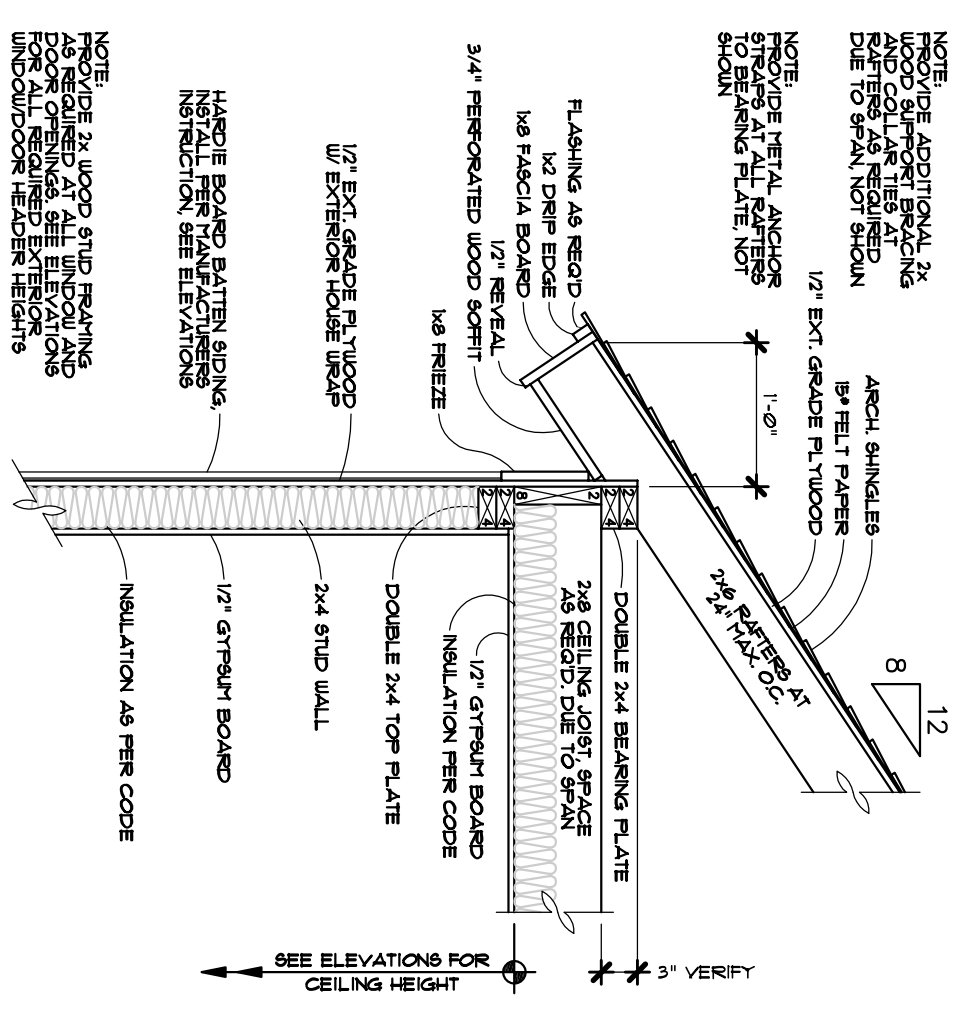
SQUARE FOOTAGES

EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR GARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

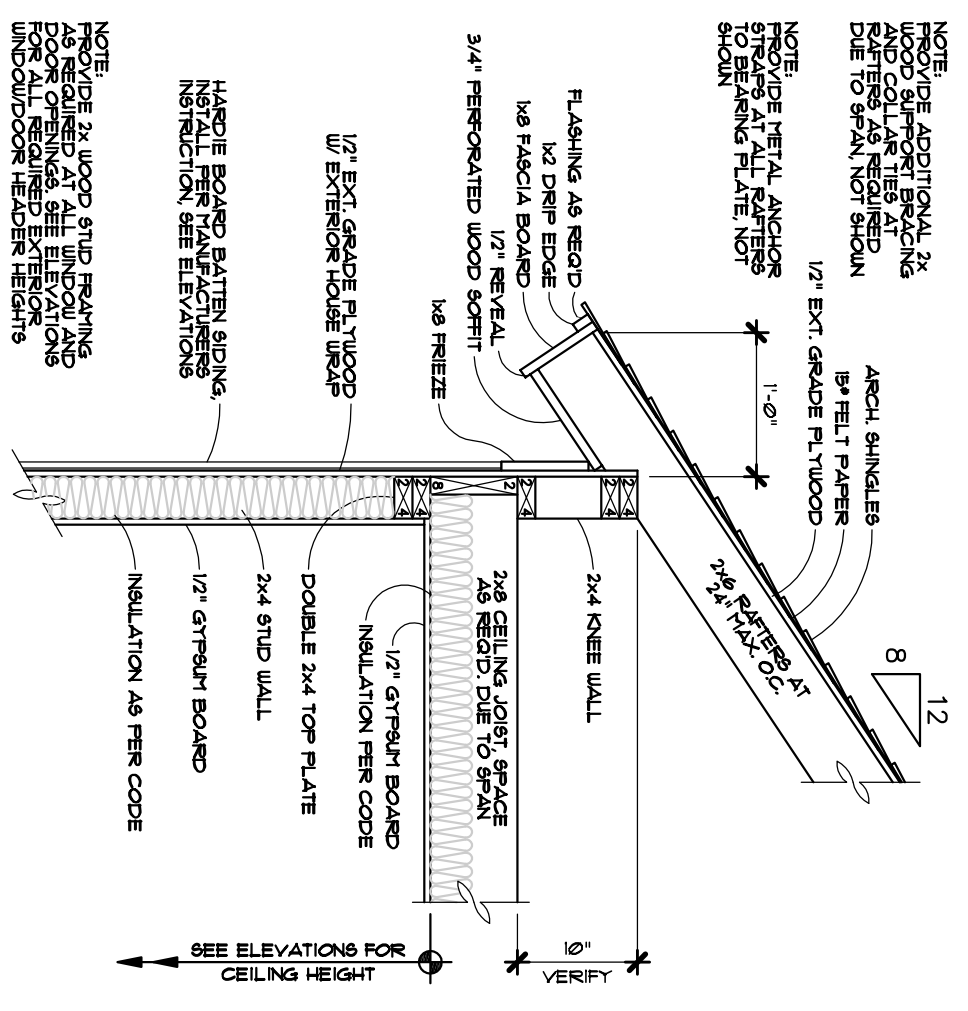
DATE: 5-30-2023
 PROJECT NUMBER: 13723-28 MH
 SHEET: 4 OF 11



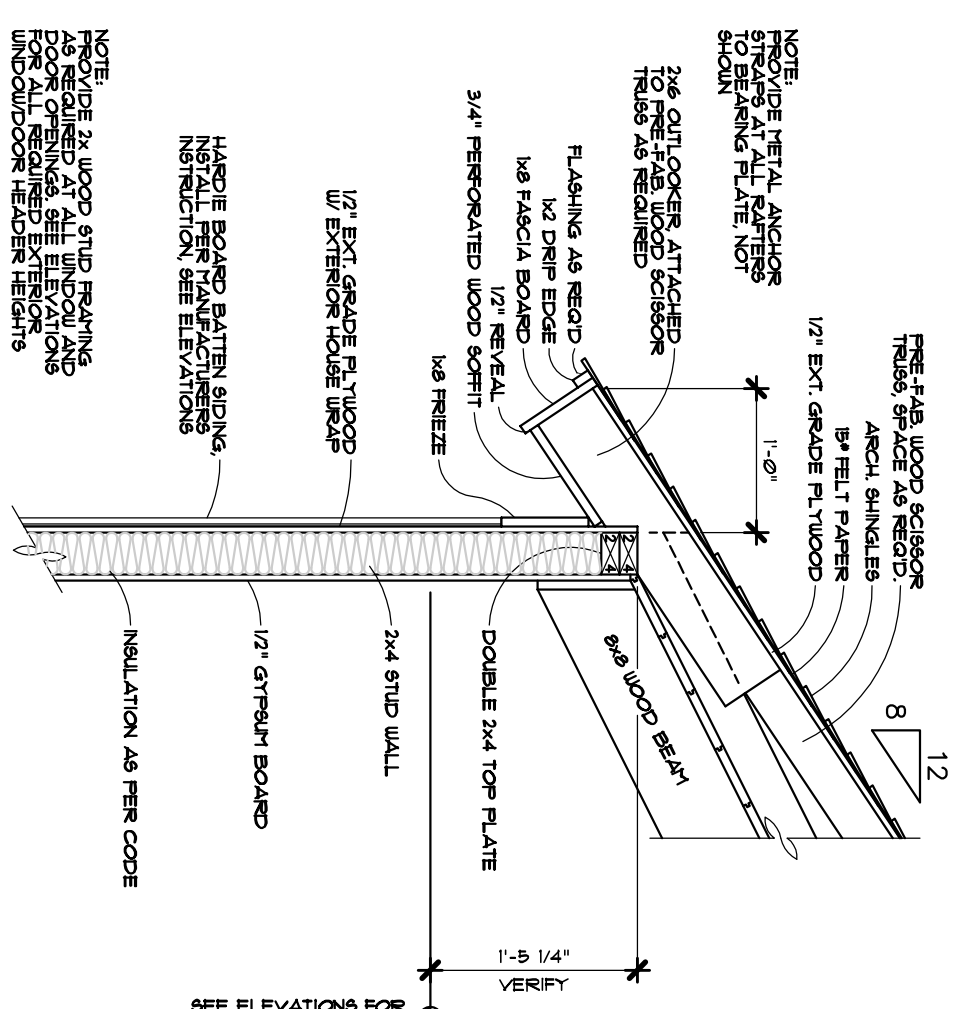
4 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



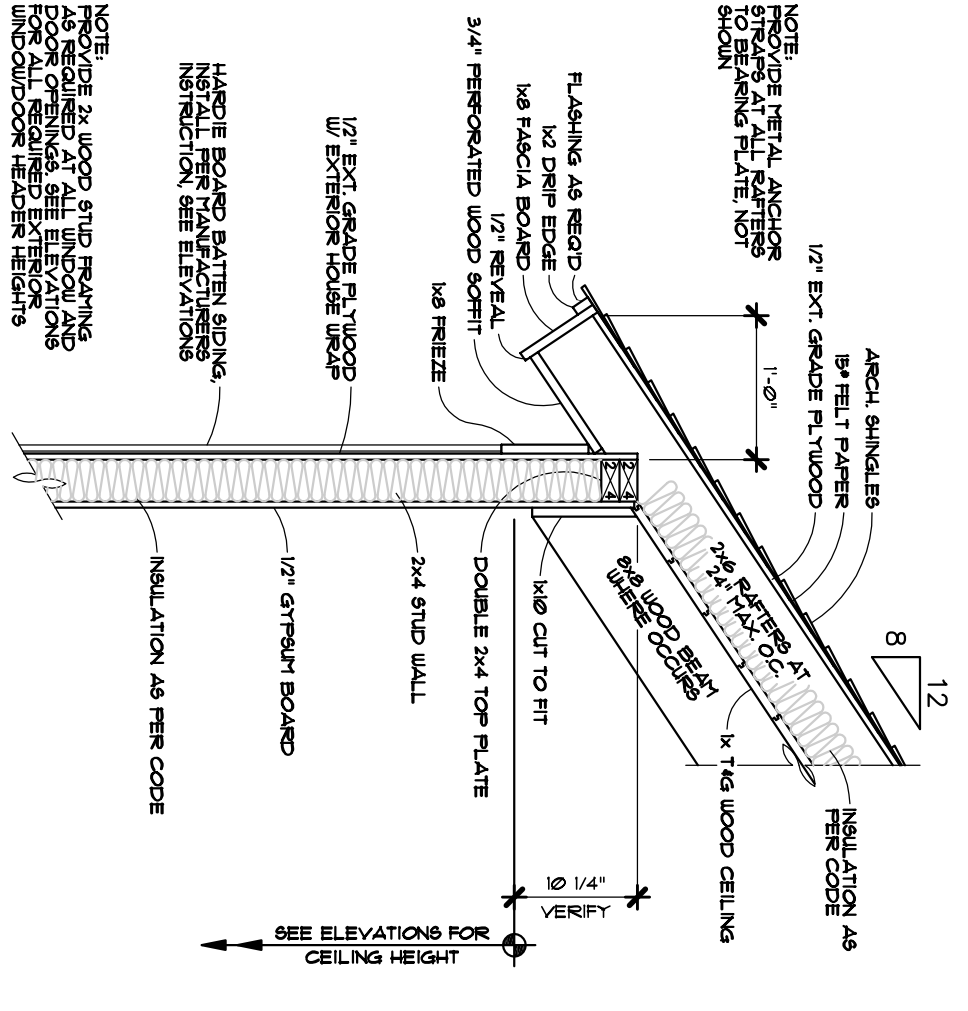
5 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



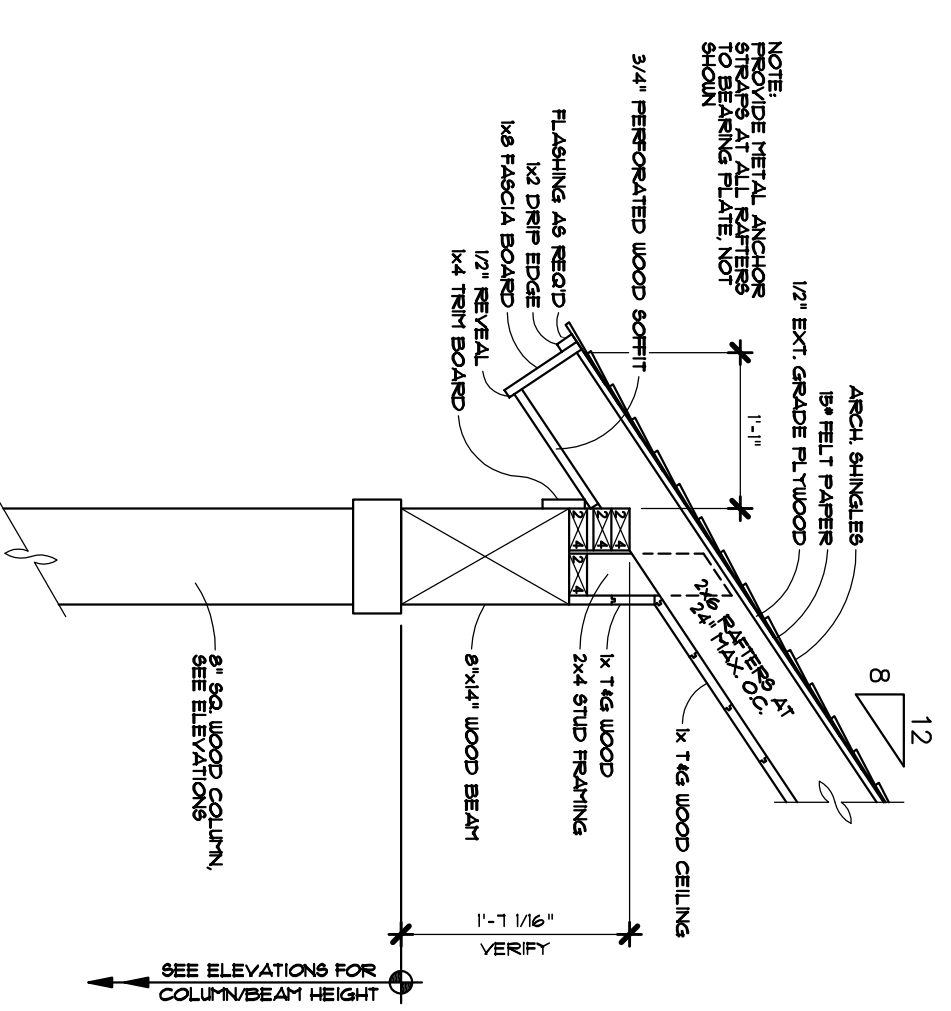
6 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



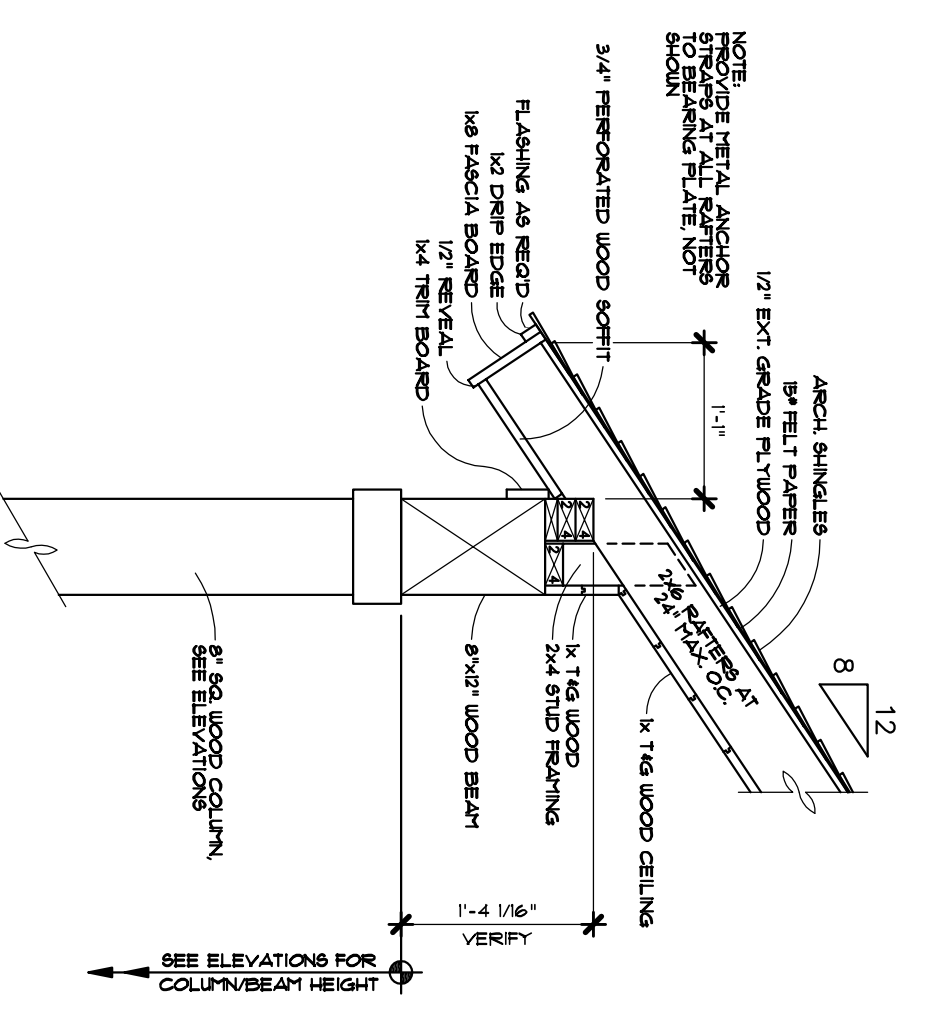
7 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



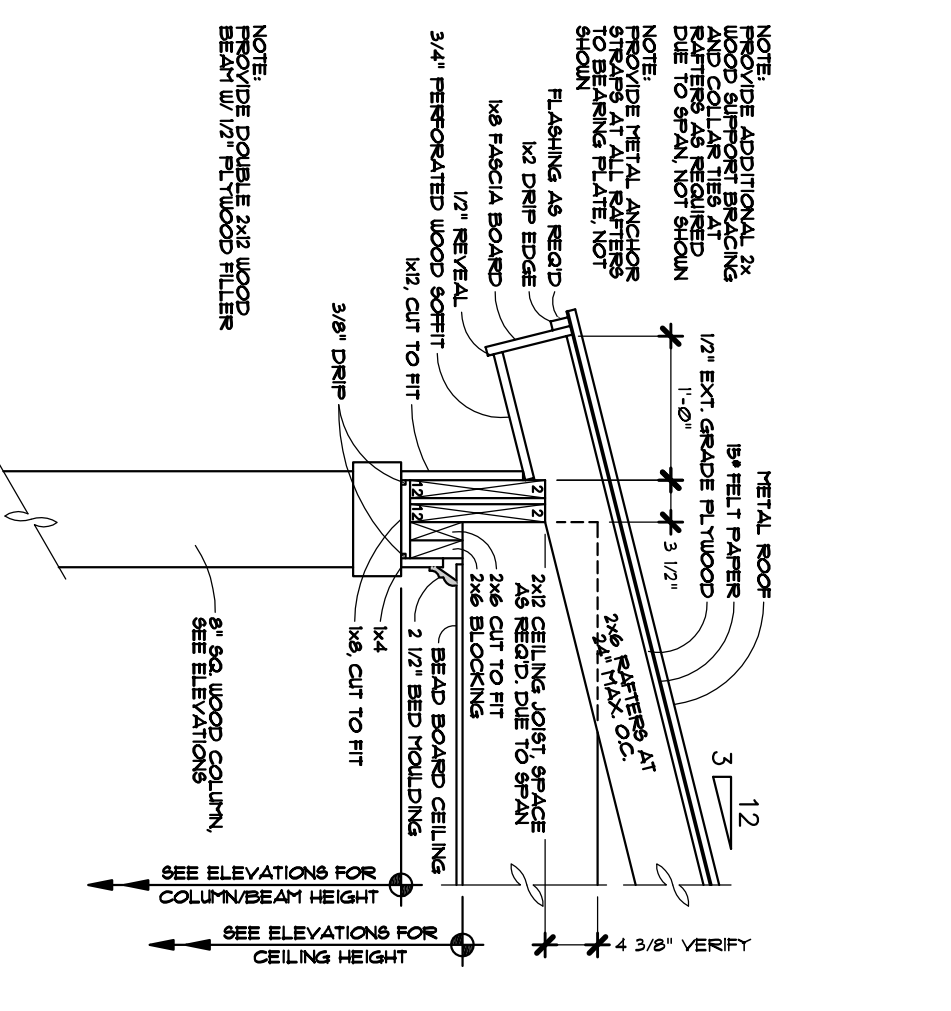
8 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



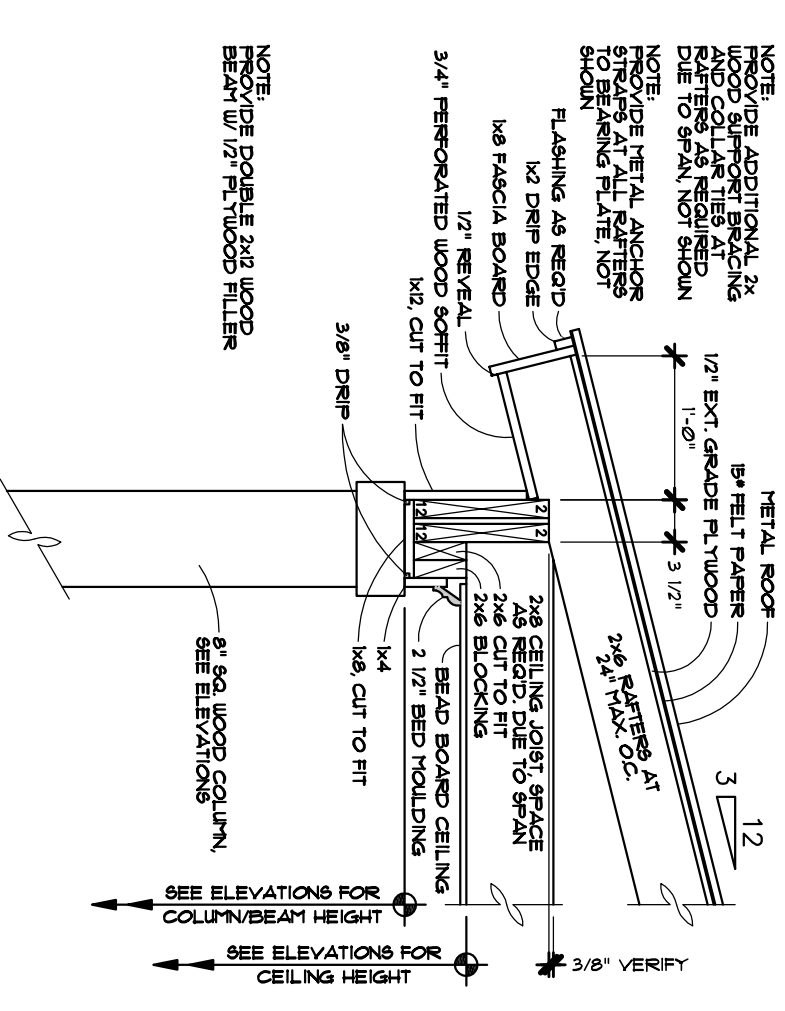
9 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



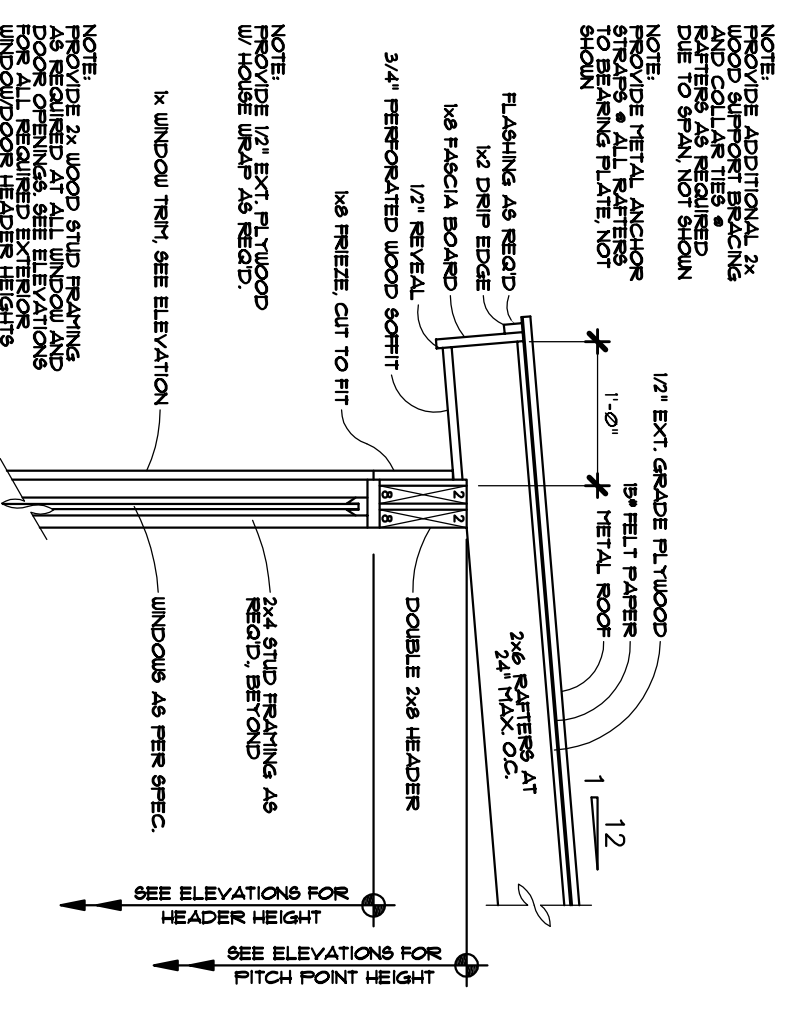
10 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



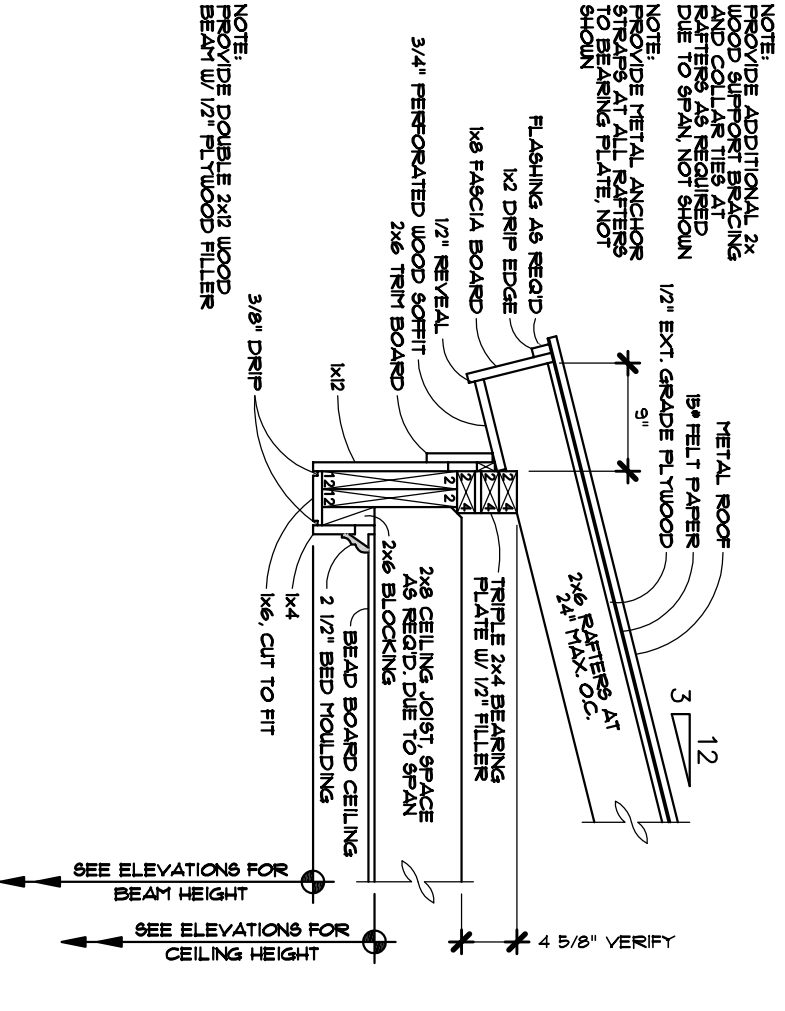
11 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



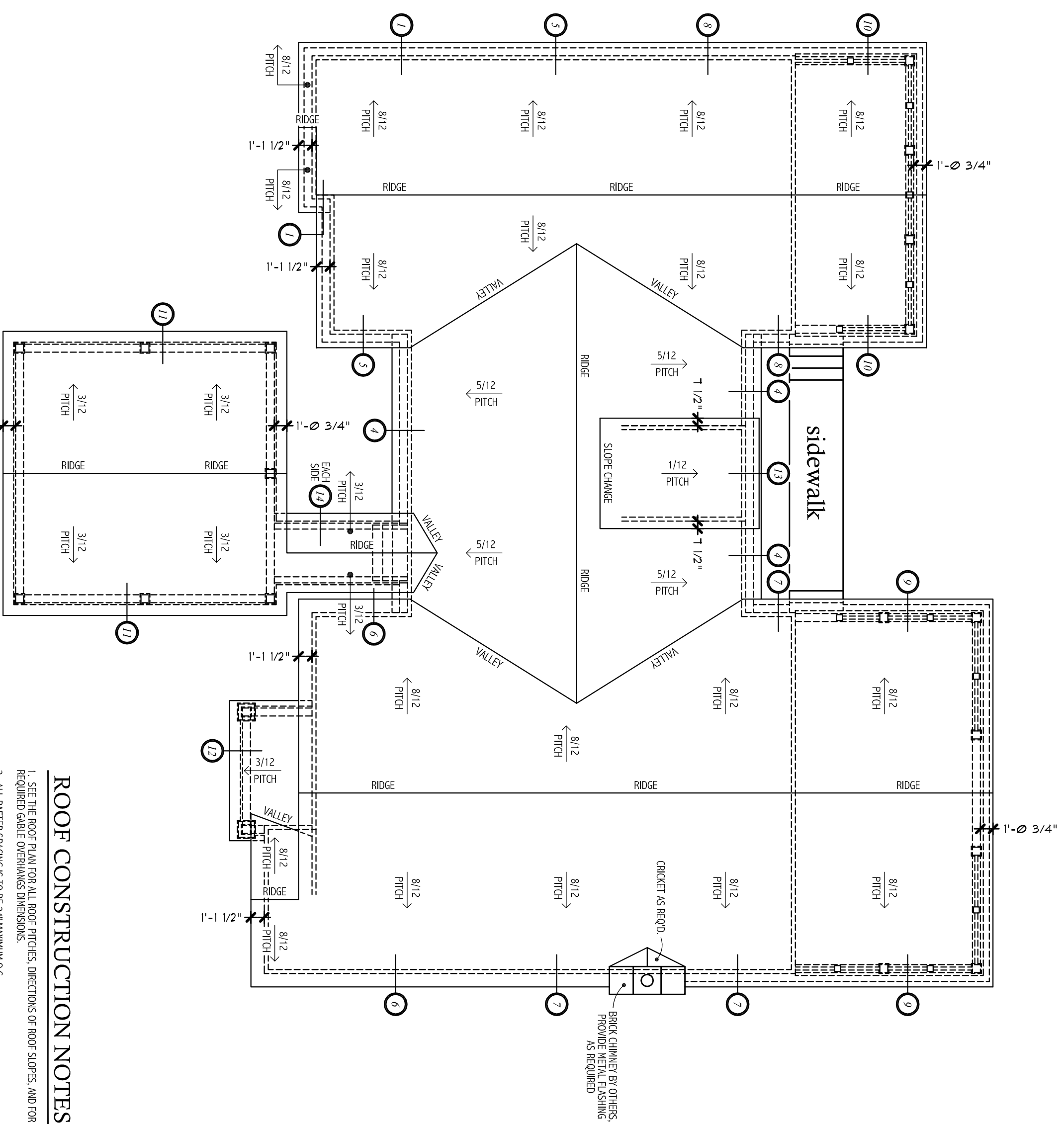
12 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



13 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



14 CONSTRUCTION DETAIL
SCALE: 3/4" = 1'-0"



ROOF CONSTRUCTION NOTES

1. SEE THE ROOF PLAN FOR ALL ROOF PITCHES, DIRECTIONS OF ROOF SLOPES, AND FOR REQUIRED DECK OVERLAP DIMENSIONS.
2. ALL BATTERS SPACING IS TO BE 24" MAXIMUM O.C.
3. PROVIDE ADDITIONAL WOOD BRACING AND COLLARS TO SUPPORT BATTERS WHERE REQUIRED DUE TO SPAN.
4. A LICENSED STRUCTURAL ENGINEER SHALL DETERMINE THE REQUIRED DIMENSIONS OF ALL BATTERS, RIDGE BEAMS, HIPS, AND VALLES.
5. PROVIDE METAL BRACING STRIPS AS REQUIRED BY LOCAL BUILDING CODES.
6. REFER TO CONSTRUCTION DETAILS FOR ANY ADDITIONAL INFORMATION.

roof plan
SCALE: 1/8" = 1'-0"

DISCLAIMER:

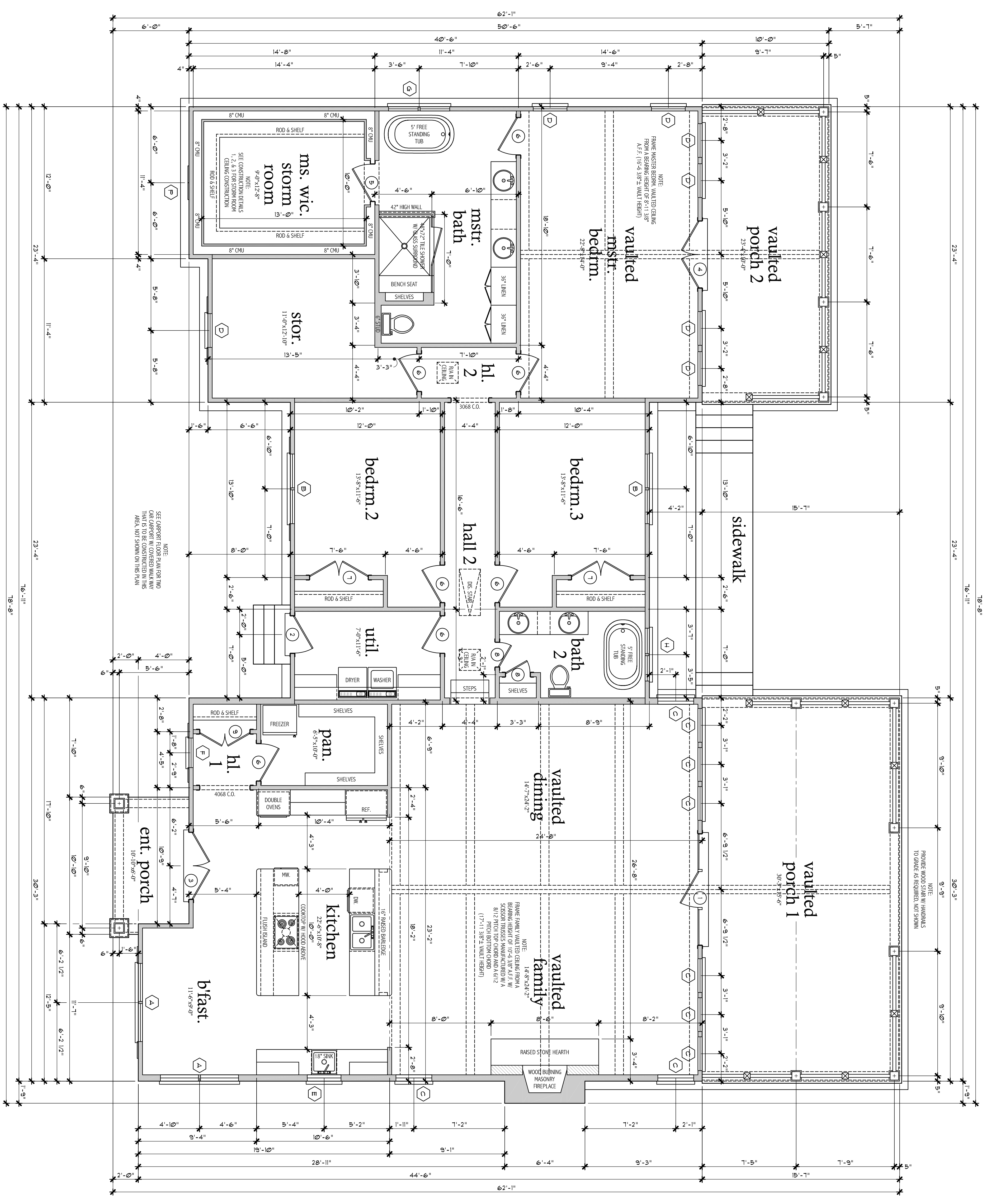
1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the express written consent of the designer for any purpose.
2. This design is copyrighted and these plans are clearly marked by the circle-C symbol and is therefore protected by all applicable laws and regulations.
3. The designer shall not be held liable for the quality of construction and materials, or for any changes that are made to these plans by others.
4. Any discrepancies that are discovered between these plans and the actual construction shall be the responsibility of the purchaser of these plans. Consult with a registered architect, structural engineer, and/or a licensed building contractor for clarification with all local and state building codes in your region.
5. The builder/contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any work.
6. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
7. All construction shall comply with the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes and International Residential Codes for one and two family dwellings.

Stephen W. Alexander
Custom Residential Design
Wetumpka, Alabama
334-612-1870

A RESIDENCE FOR:
THE MERRICK FAMILY
CONSTRUCTION DETAILS
ROOF PLAN & NOTES

SQUARE FOOTAGES	
EXISTING LIVING -	1,956
ADDITION LIVING -	1,919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR GARAGE -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

DATE
5-30-2023
PROJECT NUMBER
13723-28 MH
SHEET 5 OF 11



Floor plan
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THESE PLANS UNLESS OTHERWISE NOTED.
2. THE FINISHES AND MATERIALS SHALL BE REWORKED AND REWORKED BY A QUALIFIED CONTRACTOR AT THE OWNER'S RISK AND EXPENSE.
3. CEILING JOISTS AND RAFTER BRACKETS TO BEAR ON LATHING WALLS SHALL HAVE BEEN REWORKED AND REWORKED TO CARRY THE REQUIRED LOADS. SUCH WALLS SHALL BE REWORKED AND REWORKED BY A QUALIFIED CONTRACTOR AT THE OWNER'S RISK AND EXPENSE.
4. ALL ANGLES ARE DRAWN @ 45 DEGREES UNLESS NOTED OTHERWISE.
5. WHEN RECOMMENDED THRESHES ARE TO BE USED, THE THRESHES SHALL BE REWORKED AND REWORKED TO CARRY THE REQUIRED LOADS. SUCH THRESHES SHALL BE REWORKED AND REWORKED BY A QUALIFIED CONTRACTOR AT THE OWNER'S RISK AND EXPENSE.
6. THE BUILDER SHALL VERIFY THAT ALL REQUIRED DIMENSIONS EITHER MET OR EXCEED THE REQUIRED DIMENSIONS.
7. THE BUILDER SHALL VERIFY THAT ALL REQUIRED DIMENSIONS EITHER MET OR EXCEED THE REQUIRED DIMENSIONS.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

DISCLAIMER:

1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.

2. This design is copyrighted and these plans are clearly marked by the architect's symbol and is therefore protected by all applicable laws.

3. The designer shall not be held liable for the quality of construction and materials, or for any damages that are made to these plans by others.

4. Any discrepancies that are discovered between these plans and the actual construction shall be reported to the designer for evaluation.

5. It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a licensed Building Contractor for all construction details and for building codes in your region.

6. The Builder/Contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.

7. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site.

8. The Builder/Contractor shall comply with the standard construction practices used in the State of Alabama. This design shall conform to all current Standard Building Codes for one and two family dwellings.

Stephen W. Alexander
Custom Residential Design
Wetumpka, Alabama
334-612-1870

A RESIDENCE FOR:
THE MERRICK FAMILY

FLOOR PLAN & GENERAL NOTES

SQUARE FOOTAGES	
EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR GARAGE -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

DATE: 5-30-2023
PROJECT NUMBER: 13723-28 MH
SHEET 6 OF 11

DISCLAIMER :

1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
 2. This design is copyrighted and these plans are clearly marked by the circle-C symbol and is therefore protected by all applicable copyright laws.
 3. The designer shall not be liable for the quality of construction and materials, or for any damages that are made to these plans by others.
 4. Any discrepancies that are discovered after construction has begun shall be reported to the designer for evaluation.
 5. It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a Licensed Building Contractor for all construction details and for compliance with all local and state building codes in your region.
 6. The Builder/Contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
 7. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
 8. The designer shall comply with the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes and International Residential Codes for one and two family dwellings.

Stephen W. Alexander
 Custom Residential Design
 Wetumpka, Alabama
 334-612-1870

A RESIDENCE FOR:
THE MERRICK FAMILY
 ELECTRICAL PLAN
 ELECTRICAL SCHEDULE & NOTES

SQUARE FOOTAGES

EXISTING LIVING -	1,956
ADDITION LIVING -	1,919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR GARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

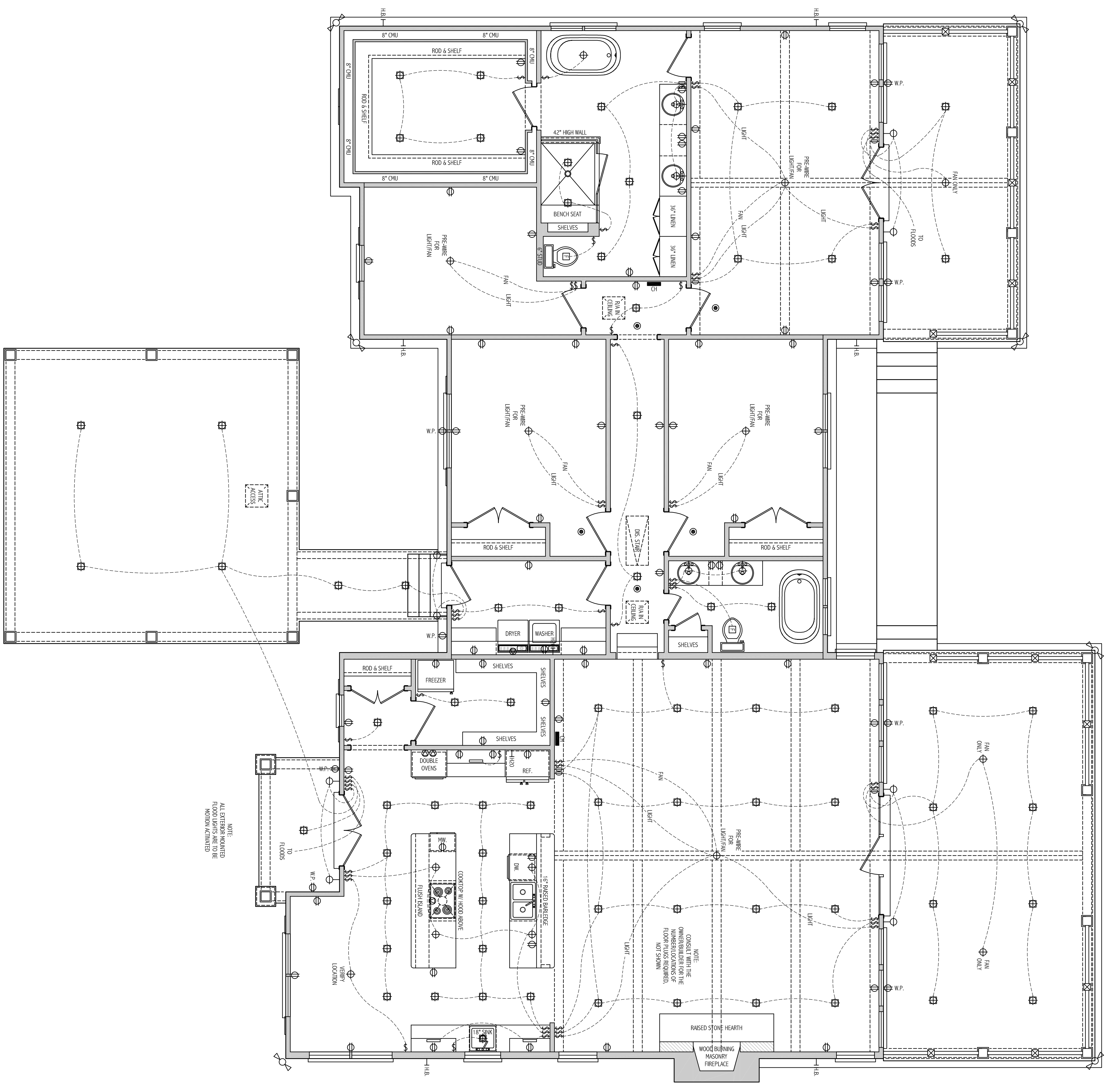
DATE - **5-30-2023**
 PROJECT NUMBER - **13723-28 MH**
 SHEET **8** OF **11**

ELECTRICAL SCHEDULE

ELECTRICAL WORK	SMOKE DETECTOR
--- ELECTRICAL WORK	⊙ SMOKE DETECTOR
--- SWITCH	⊕ DIM'D OUTLET
⊕ DIMMER SWITCH	⊕ 230V OUTLET
⊕ CEILING HT. LIGHT	⊕ F8 FLOOR PLUG
⊕ WALL HT. ENTIRE	⊕ W/P WEATHERPROOF OUTLET
⊕ RECESSED DOWN	⊕ EXHAUST FAN
⊕ RECESSED FANRAIL	⊕ EXHAUST FANRAIL
⊕ UNDER CABINET FANRAIL	⊕ CHIMS
⊕ 2 TUBE FLOOR	⊕ GAS LINE
⊕ FLUSH HT. 4 TUBE FLOOR	⊕ HO-1 WATER LINE
⊕ FLOORS	⊕ H-1 HOSEBBS

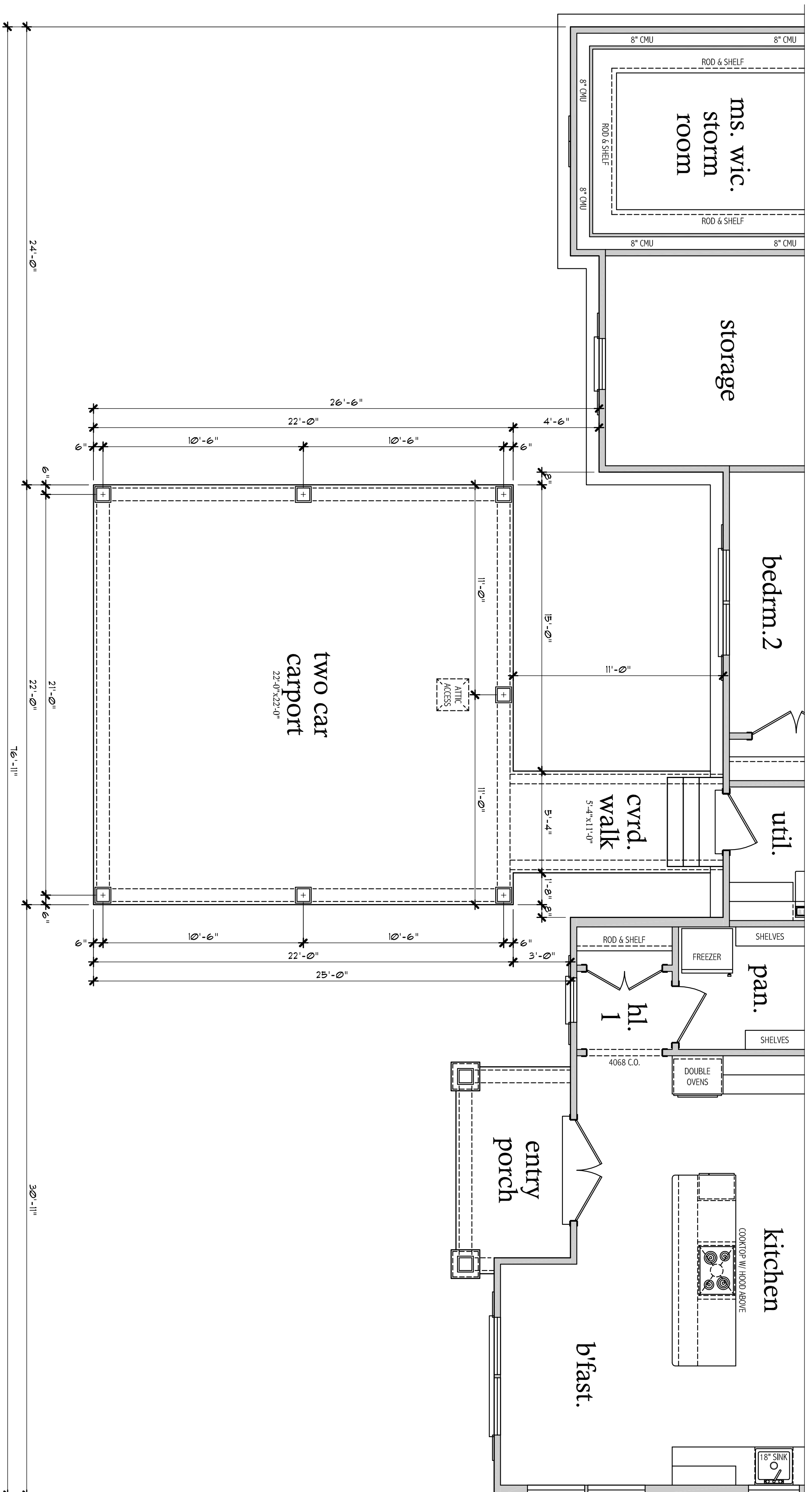
- ELECTRICAL NOTES**
1. THE PURPOSE OF THIS ELECTRICAL LAYOUT IS TO SHOW THE LOCATIONS OF ALL THE WIRING AND ELECTRICAL WORK TO BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE LOCAL ELECTRICAL CODES.
 2. THE ELECTRICAL CONTRACTOR SHALL CONSULT WITH THE OWNER AND/OR THE BUILDER BEFORE ANY CHANGES ARE MADE TO THIS ELECTRICAL DESIGN.
 3. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE ELECTRICAL LAYOUT BEFORE ANY CONSTRUCTION BEGINS TO ENSURE THAT THIS LAYOUT MEETS ALL THE REQUIRED STATE AND LOCAL BUILDING CODES.
 4. ANY ELECTRICAL OUTLETS WHICH ARE LOCATED NEAR ANY WATER SOURCE AND ON THE EXTERIOR OF THE BUILDING SHALL BE PROVIDED WITH GROUNDING AND PROTECTION FROM WEATHER AND OTHER HAZARDOUS CONDITIONS.
 5. THE TYPE, SIZE AND RATING OF ALL SWITCHES, OUTLETS, AND OTHER DEVICES SHALL BE COMPATIBLE WITH THE OWNER'S REQUIREMENTS AND SHALL BE IDENTIFIED ON THIS PLAN.
 6. THE BUILDER AND/OR THE CONTRACTOR SHALL VERIFY WITH THE OWNER THE REQUIRED LOCATION OF ALL TELEPHONE, AUDIO, CABLE, SECURITY, PHONE, AND COMPUTER REQUIREMENTS.
 7. ALL SWITCHES, OUTLETS, LIGHT/FAN TRIMMERS, ETC. SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE LOCATION SHOWN ON THIS ELECTRICAL LAYOUT.
 8. THE BUILDER AND/OR CONTRACTOR SHALL ENSURE THAT ELECTRICAL AND GAS SERVICE REFRIGERATORS, DEHYDRATORS, GARAGE DEHYDRATORS, FREEZERS, COOLERS, WARMERS AND DRYERS, OVENS, OUTDOOR GRILLS, HVAC SYSTEMS, ETC.
 9. ELECTRICAL BREAKER BOARDS SHALL BE SIZED AS REQUIRED TO ACCOMMODATE ALL THE EQUIPMENT TO BE INSTALLED AND SHALL BE IDENTIFIED ON THIS PLAN. THE OWNER FOR THE NUMBER OF ANY ADDITIONALLY DESIGNED OVERSIZED CIRCUIT BREAKERS FOR FUTURE EXPANSION.
 10. ELECTRICAL AND GAS METERS SHOULD BE LOCATED, WHENEVER POSSIBLE, AWAY FROM AN PROMINENT WALL.

NOTE:
 ALL OTHER UNLabeled
 FOOTINGS ARE TO BE
 INSTALLED AS NOTED
 IN OTHER PLANS

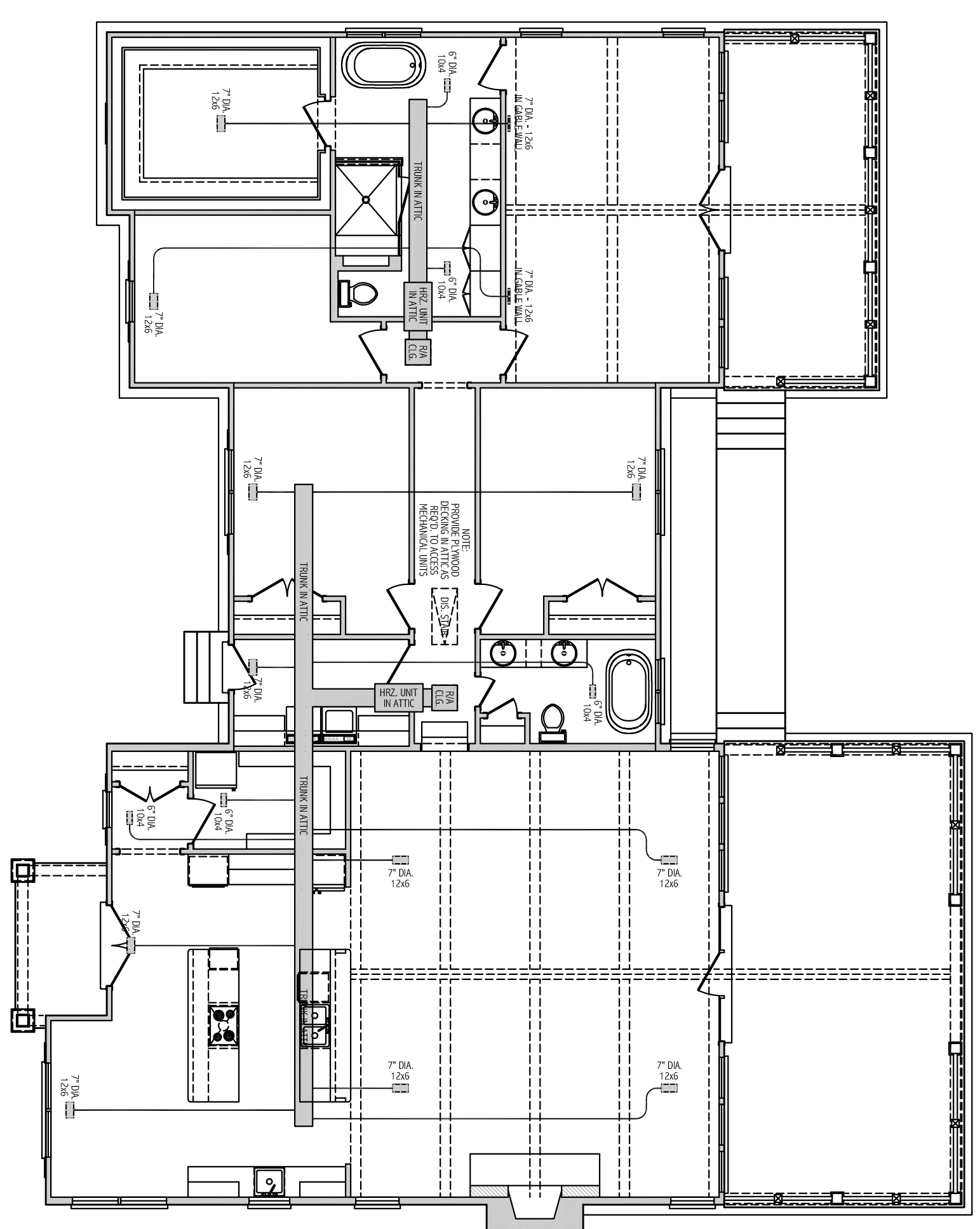


electrical plan

SCALE: 1/4" = 1'-0"



carport floor plan
SCALE: 1/4" = 1'-0"



mechanical plan
SCALE: 1/8" = 1'-0"

MECHANICAL NOTES

1. THIS MECHANICAL SYSTEM IS A SUGGESTED LAYOUT ONLY. THE MECHANICAL CONTRACTOR SHOULD PREPARE ALL FINAL DIMENSIONS AND CALCULATIONS FOR UNIT SIZE AND SUBMIT THESE ITEMS TO THE GENERAL CONTRACTOR FOR FINAL REVIEW AND APPROVAL.
2. THE HVAC CONTRACTOR SHOULD PREPARE ALL FINAL DIMENSIONS AND CALCULATIONS FOR UNIT SIZE AND SUBMIT THESE ITEMS TO THE GENERAL CONTRACTOR FOR FINAL REVIEW AND APPROVAL.
3. SEE THE MECHANICAL SYSTEM LAYOUT FOR LOCATION OF REGISTER TRUNK LINES, & REGISTER LOCATIONS. ALL REGISTER LOCATIONS WITH THE ELECTRICAL SYSTEM ARE TO BE CONTRIBUTION.
4. DO NOT LOCATE ANY MECHANICAL UNIT OVER ANY AREA WITH A CLEARANCE OF MORE THAN 10'-0".
5. ALL MECHANICAL AND PLUMBING RISERS THAT EXTEND THROUGH THE ROOF STRUCTURE, SHALL BE LOCATED AWAY FROM ANY PROMINENT VIEW.
6. PROVIDE METAL DUCTING FOR ALL EXHAUST FANS, REFRIGERATOR FUELS, HOODS, AND DRYER VENT.

FINISH SCHEDULE

ROOM	FLOOR	BASE	WALL	CEILING	TRIM	NOTES
TWO CAR CARPORT	CONCRETE	NONE	NONE	BEAD BOARD	2 1/2" x 2 1/2" MDS.	NONE
COVERED WALK	CONCRETE	NONE	NONE	BEAD BOARD	2 1/2" x 2 1/2" MDS.	NONE
ENTRY PORCH	CONCRETE	NONE	SHING	1 1/2" x 6" WOOD	2 1/2" x 2 1/2" MDS.	NONE
HALL 1	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
PANTRY	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
BREAKFAST	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
KITCHEN	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
VALUED HALL ROOM	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	8'-0" WOOD BEAMS @ CEILING
VALUED LIVING	2x6 P.T.	NONE	SHING	1 1/2" x 6" WOOD	NONE	8'-0" WOOD BEAMS @ CEILING
VALUED PORCH 1	C TILE	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
HALL 2	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
DINING	C TILE	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
BEDROOM 2	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
BEDROOM 2 CLOSET	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
BEDROOM 3	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
BEDROOM 3 CLOSET	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
HALL 3	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
STORAGE	LP	1 1/2" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
MASTER W.C./BATH RM.	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
MASTER BATH	C TILE	6" WOOD	SHEETROCK	SHEETROCK	NONE	NONE
VALUED MASTER BEDROOM	LP	6" WOOD	SHEETROCK	SHEETROCK	NONE	8'-0" WOOD BEAMS @ CEILING
VALUED PORCH 2	2x6 P.T.	NONE	SHING	1 1/2" x 6" WOOD	NONE	NONE

DOOR SCHEDULE

NO.	DOOR SIZE	DESCRIPTION	HDR. HGT.	EXT.	INT.	QTY.
1	EGST. 30x8 TYPICAL UNIT	EXT. METAL INSUL. FULL GLASS	8'-4"	SHING	WOOD	1 UNIT
2	30x8	EXT. METAL INSUL.	8'-4"	SHING	WOOD	1
3	PR 2388	EXT. METAL INSUL. 3/4 GLASS	8'-4"	SHING	WOOD	1 UNIT
4	PR 2388	EXT. METAL INSUL. FULL GLASS	8'-4"	SHING	WOOD	1-PR
5	30x8 SD	METAL STORM DOOR - FRENCH APPROVED	8'-4"	WOOD	WOOD	1
6	30x8	INTERIOR DOOR	8'-4"	WOOD	WOOD	7
7	PR 2468	INTERIOR DOOR - 9'6"	8'-4"	WOOD	WOOD	2-PR
8	20x8	INTERIOR DOOR	8'-4"	WOOD	WOOD	2
9	PR 2068	INTERIOR DOOR - 9'6"	8'-4"	WOOD	WOOD	1-PR

WINDOW SCHEDULE

NO.	WINDOW SIZE	DESCRIPTION	HDR. HGT.	EXT.	INT.	QTY.
A	1W 30x50	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	2 UNITS
B	1W 28x50	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	2 UNITS
C	28x50	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	9
D	28x50	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	7
E	28x56	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	1
F	24x50	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	1
G	1W 24x60	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	1 UNIT
H	1W 20x60	SINGLE HUNG NSUL.	8'-4"	SHING	WOOD	1 UNIT
I	4x60	FIXED GLASS NSUL.	11'-4"	SHING	WOOD	1
J	30x60	FIXED GLASS NSUL.	11'-4"	SHING	WOOD	2
L	30x50	FIXED GLASS NSUL.	11'-4"	SHING	WOOD	1
M	30x50	FIXED GLASS NSUL.	11'-4"	SHING	WOOD	3
N	20x56	FIXED GLASS NSUL.	11'-4"	SHING	WOOD	2
P	28x50	WOOD FRAME SLIDERS	8'-4"	SHING	WOOD	1 SET

DISCLAIMER:

1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
2. This design is copyrighted and these plans are clearly marked by the circle C symbol and is therefore protected by all applicable laws. No part of this design shall be copied, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the designer.
3. The designer shall not be held liable for the quality of construction and materials, or for any damages that are made to these plans by others.
4. Any discrepancies that are discovered between these plans and the actual construction shall be the responsibility of the purchaser of these plans. Consult with a registered Architect, Structural Engineer, and/or a licensed Building Contractor for any questions or concerns regarding the building codes in your region.
5. It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a licensed Building Contractor for any questions or concerns regarding the building codes in your region.
6. The Builder/Contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
7. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
8. The designer shall be in compliance with the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes for one and two family dwellings.

Stephen W. Alexander
 Custom Residential Design
 Wetumpka, Alabama
 334-612-1870

A RESIDENCE FOR:
THE MERRICK FAMILY

CARPORT FLOOR PLAN
 FINISH, DOOR, & WINDOW SCHEDULES
 MECHANICAL PLAN & NOTES

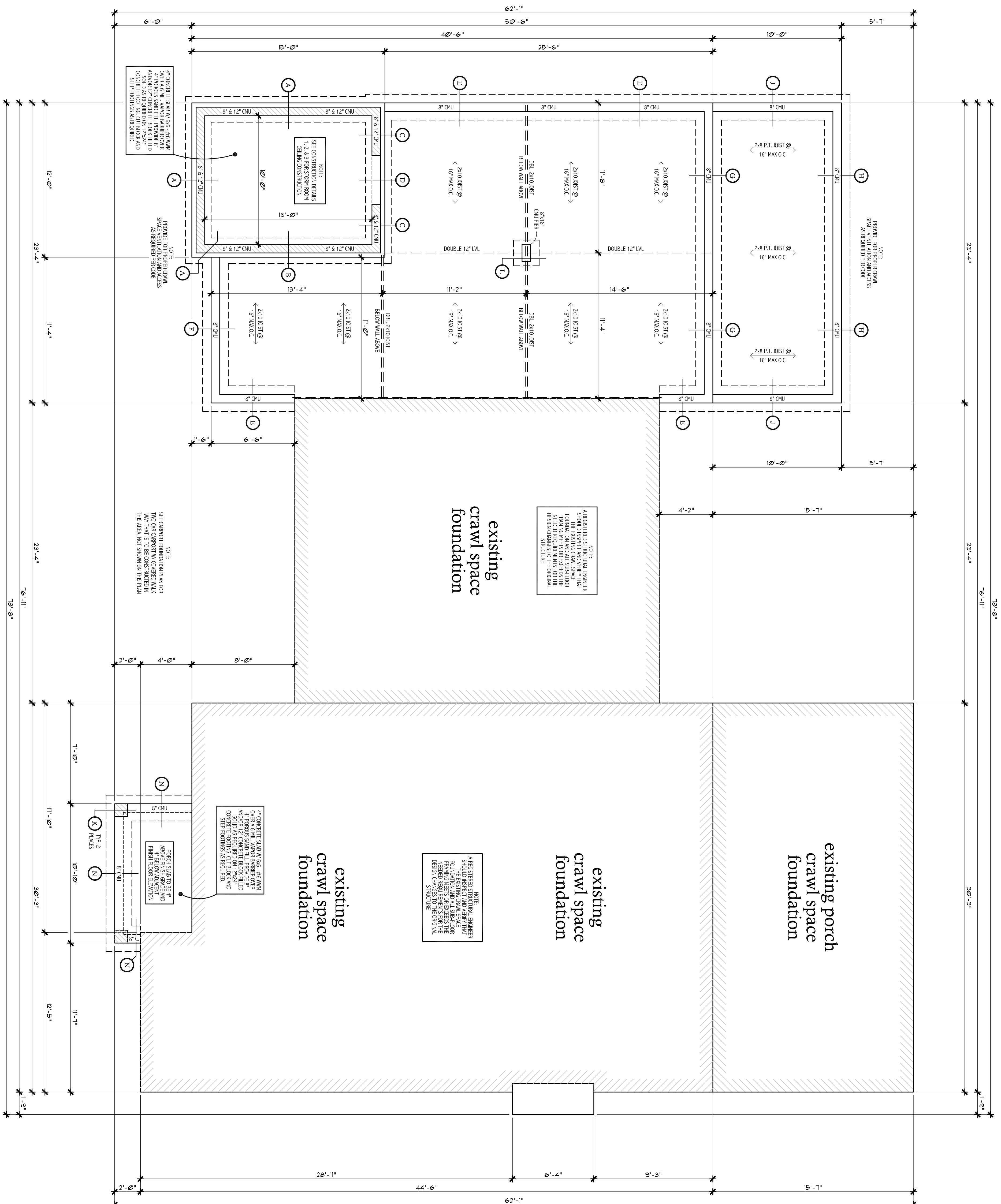
SQUARE FOOTAGES

EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR CARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

DATE
5-30-2023

PROJECT NUMBER
13723-28 MH

SHEET **7** OF **11**



NOTE: PROVIDE FOR PROPER GROUND ANCHORAGE FOR ALL BEAMS AS REQUIRED PER CODE.

NOTE: A REGISTERED STRUCTURAL ENGINEER SHALL VERIFY THE EXISTING CRAWL SPACE FOUNDATION AND ALL SLABS FOR MEETING ALL APPLICABLE DESIGN REQUIREMENTS FOR THE DESIGN OF THIS FOUNDATION STRUCTURE.

NOTE: A REGISTERED STRUCTURAL ENGINEER SHALL VERIFY THE EXISTING CRAWL SPACE FOUNDATION AND ALL SLABS FOR MEETING ALL APPLICABLE DESIGN REQUIREMENTS FOR THE DESIGN OF THIS FOUNDATION STRUCTURE.

NOTE: 4" CONCRETE SLAB WITH 6#6 - 4# WINK OVER R.A. WALL. PROVIDE REINFORCING AND/OR 2" CONCRETE BLOCK FILLED CONCRETE FOOTING OUT BLOCK AND STEP FOOTINGS AS REQUIRED.

NOTE: PROVIDE FOR PROPER GROUND ANCHORAGE FOR ALL BEAMS AS REQUIRED PER CODE.

NOTE: SEE CURRENT FOUNDATION PLAN FOR PROPER GROUND ANCHORAGE FOR ALL BEAMS AS REQUIRED PER CODE. THIS PLAN WILL SHOW ON THIS PLAN.

NOTE: 4" CONCRETE SLAB WITH 6#6 - 4# WINK OVER R.A. WALL. PROVIDE REINFORCING AND/OR 2" CONCRETE BLOCK FILLED CONCRETE FOOTING OUT BLOCK AND STEP FOOTINGS AS REQUIRED.

NOTE: PROVIDE FOR PROPER GROUND ANCHORAGE FOR ALL BEAMS AS REQUIRED PER CODE.

- FOUNDATION NOTES**
1. THE FOUNDATION STRUCTURAL INFORMATION CONTAINED IN THESE PLANS SHOULD BE REVIEWED CAREFULLY BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL ANGLES ARE DRAWN AT 45 DEGREES UNLESS OTHERWISE NOTED.
 3. PROVIDE MINIMUM OF 3000 P.S.I. CONCRETE FOR ALL SLAB FOUNDATIONS.
 4. PROVIDE EMBED 6#8 REBAR AT ALL JOBS. PROVIDE REBAR WITH 90 DEGREE BENDS TO THE FLOOR JOIST SPAN DIRECTION FOR CRAWL SPACE FOUNDATIONS.
 5. PROVIDE 90 DEGREE BENDS TO BE SPACED AT 24" O.C. HORIZONTAL AND AT 18" O.C. VERTICAL.
 6. PROVIDE FOR ADEQUATE VENTILATION AND ACCESS AS REQUIRED PER LOCAL CODES FOR REINFORCED BLOCK WALL CRAWL SPACE FOUNDATIONS.
 7. THE BUILDER SHALL CONSULT WITH A LICENSED AIR CONDITIONING CONTRACTOR TO PROVIDE TYPICAL TIGHTENING COMPARES WITH ALL LOCAL CODES.
 8. THE BUILDER SHALL CONSULT WITH A REGISTERED STRUCTURAL ENGINEER FOR ANY ADDITIONAL REINFORCING AND CONCRETE BLOCK WALLS TO BE ADDED 4'-0" IN HEIGHT ABOVE FINISH FLOOR ELEVATION.

Foundation plan

SCALE: 1/4" = 1'-0"

DISCLAIMER:

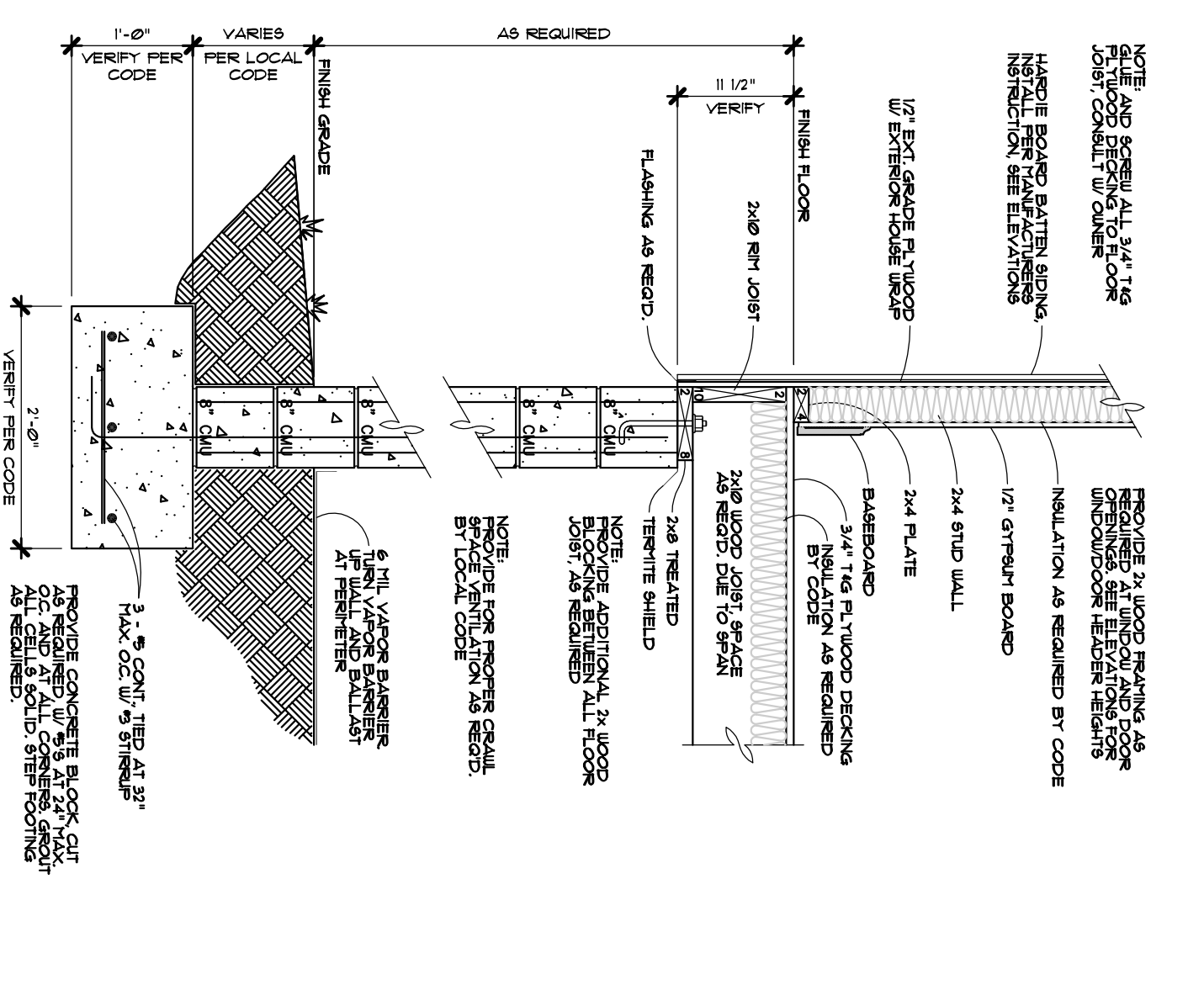
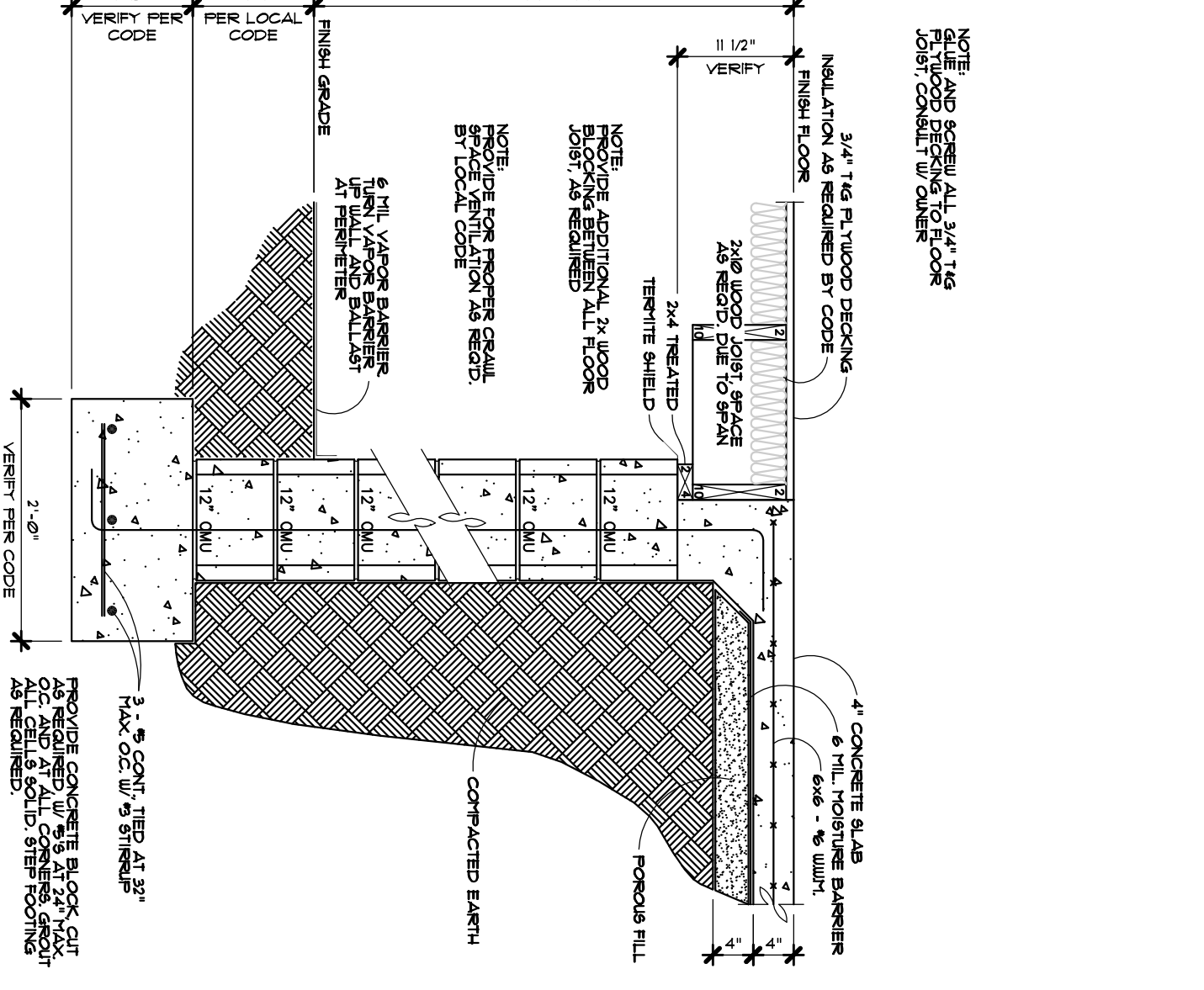
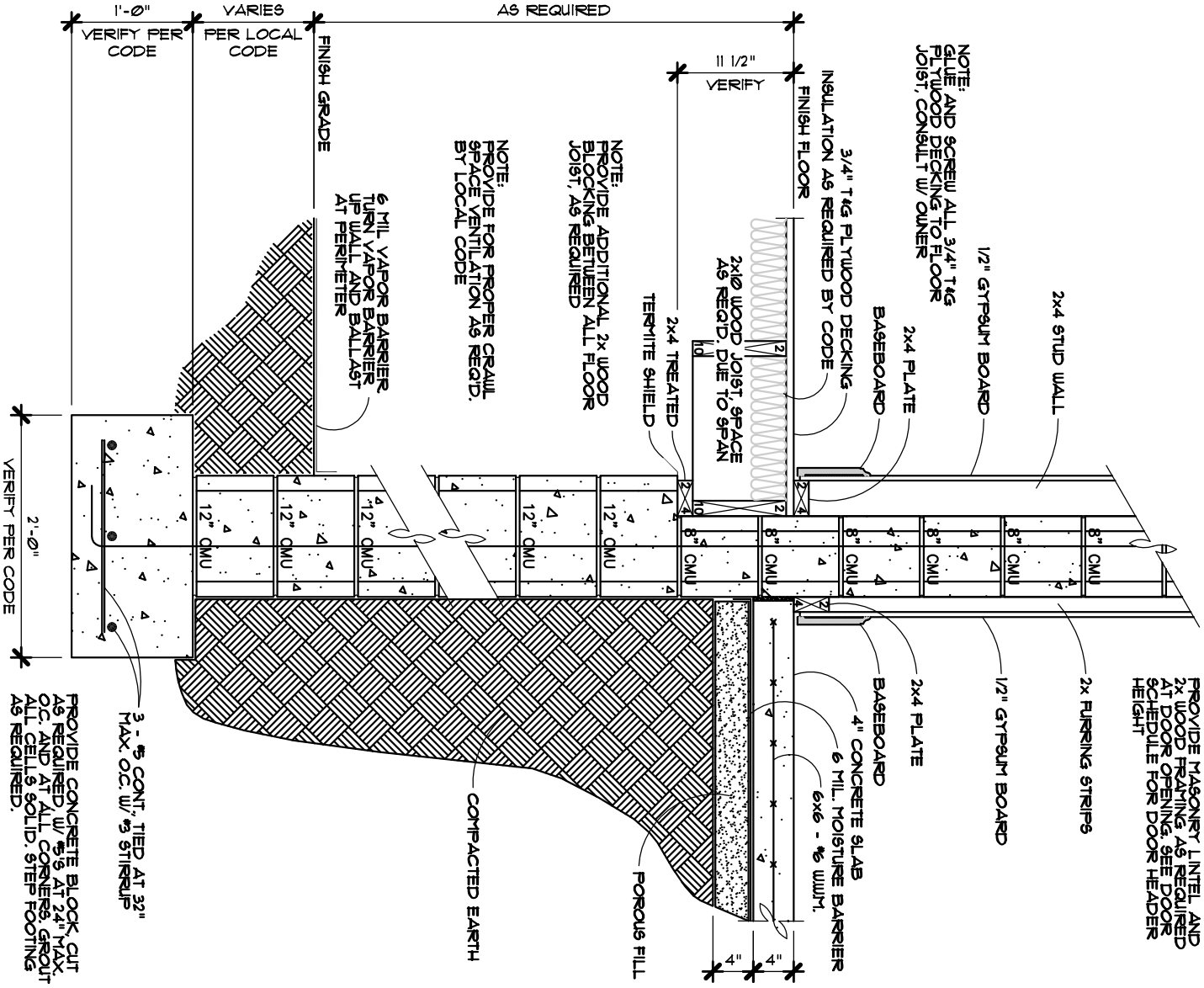
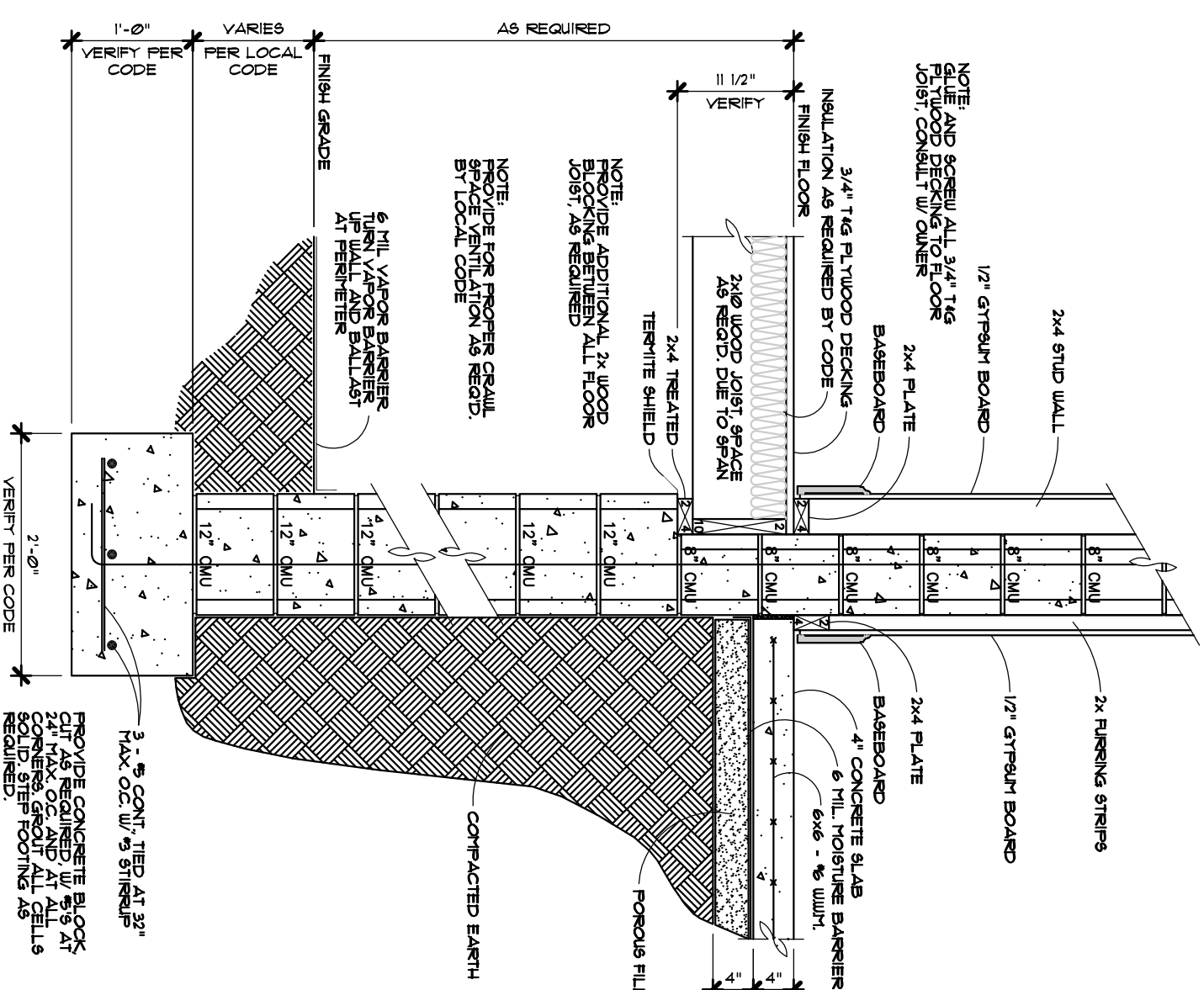
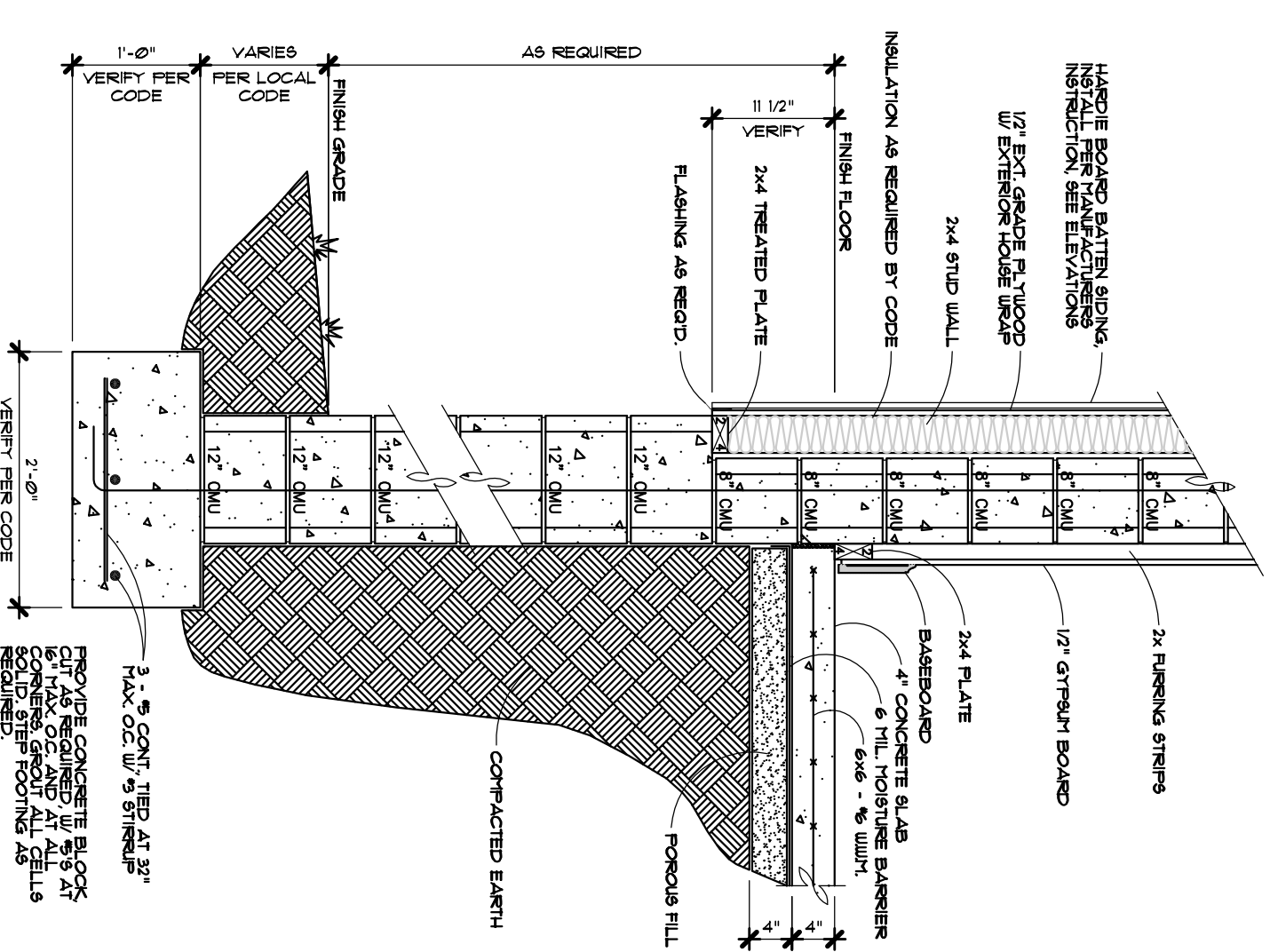
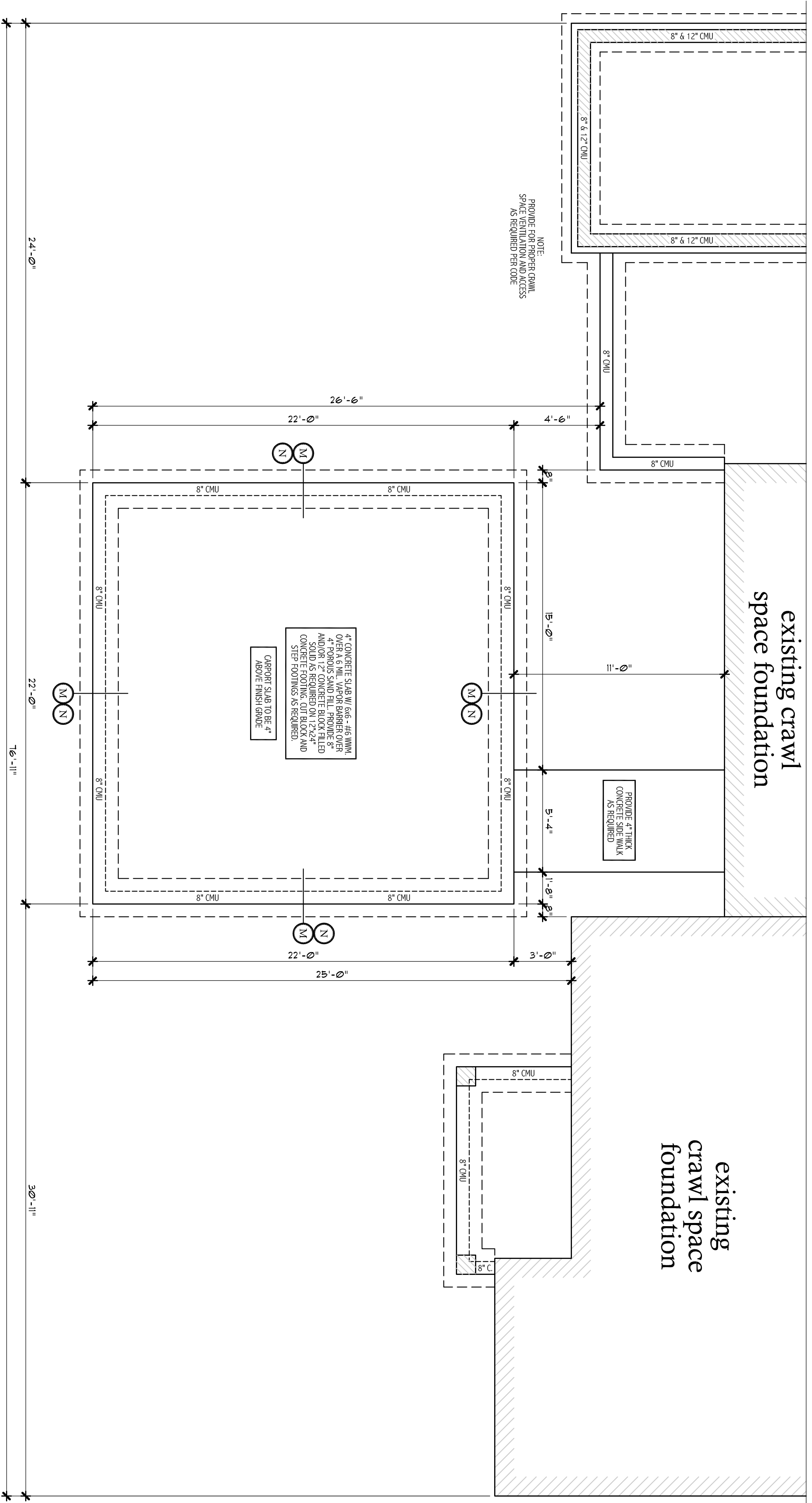
1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
2. This design is copyrighted and these plans are clearly marked by the circle-C symbol and is therefore protected by all applicable state and federal copyright laws.
3. The designer shall not be held liable for the quality of construction and materials, on-site conditions, any work performed by others, or for any damages that are made to these plans by others.
4. Any discrepancies that are discovered between these plans and the actual construction shall be reported to the designer for evaluation.
5. It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a Licensed Building Contractor for all applicable local, state, and federal building codes in your region.
6. The Builder/Contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
7. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
8. The design is intended to comply with the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes and International Residential Codes for one and two family dwellings.

Stephen W. Alexander
 Custom Residential Design
 Wetumpka, Alabama
 334-612-1870

A RESIDENCE FOR:
THE MERRICK FAMILY
 FOUNDATION PLAN & NOTES

SQUARE FOOTAGES	
EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR GARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

DATE
5-30-2023
 PROJECT NUMBER
13723-28 MH
 SHEET 9 OF 11



DISCLAIMER:

1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
2. This design is copyrighted and these plans are clearly marked by the architect symbol and is therefore protected by all applicable laws.
3. The architect is not liable for the quality of construction and materials, or for any damages that are made to these plans by others.
4. Any discrepancies that are discovered in these plans shall be the responsibility of the purchaser of these plans.
5. It is strongly recommended that the purchaser of these plans consult with a registered architect, structural engineer, and/or a licensed building contractor for construction of these plans and for building codes in your region.
6. The builder/contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
7. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
8. The architect is not responsible for compliance with the standard construction practices used in the State of Alabama. This design also conforms to all current Standard Building Codes for one and two family dwellings.

Stephen W. Alexander
★ Custom Residential Design ★
Wetumpka, Alabama
334-612-1870

A RESIDENCE FOR:
THE MERRICK FAMILY

CARPORT FOUNDATION PLAN
FOUNDATION DETAILS

SQUARE FOOTAGES	
EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR CARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

DATE: 5-30-2023
PROJECT NUMBER: 13723-28 MH
SHEET: 10 OF 11

© COPYRIGHT 2023 by Stephen W. Alexander

DISCLAIMER:

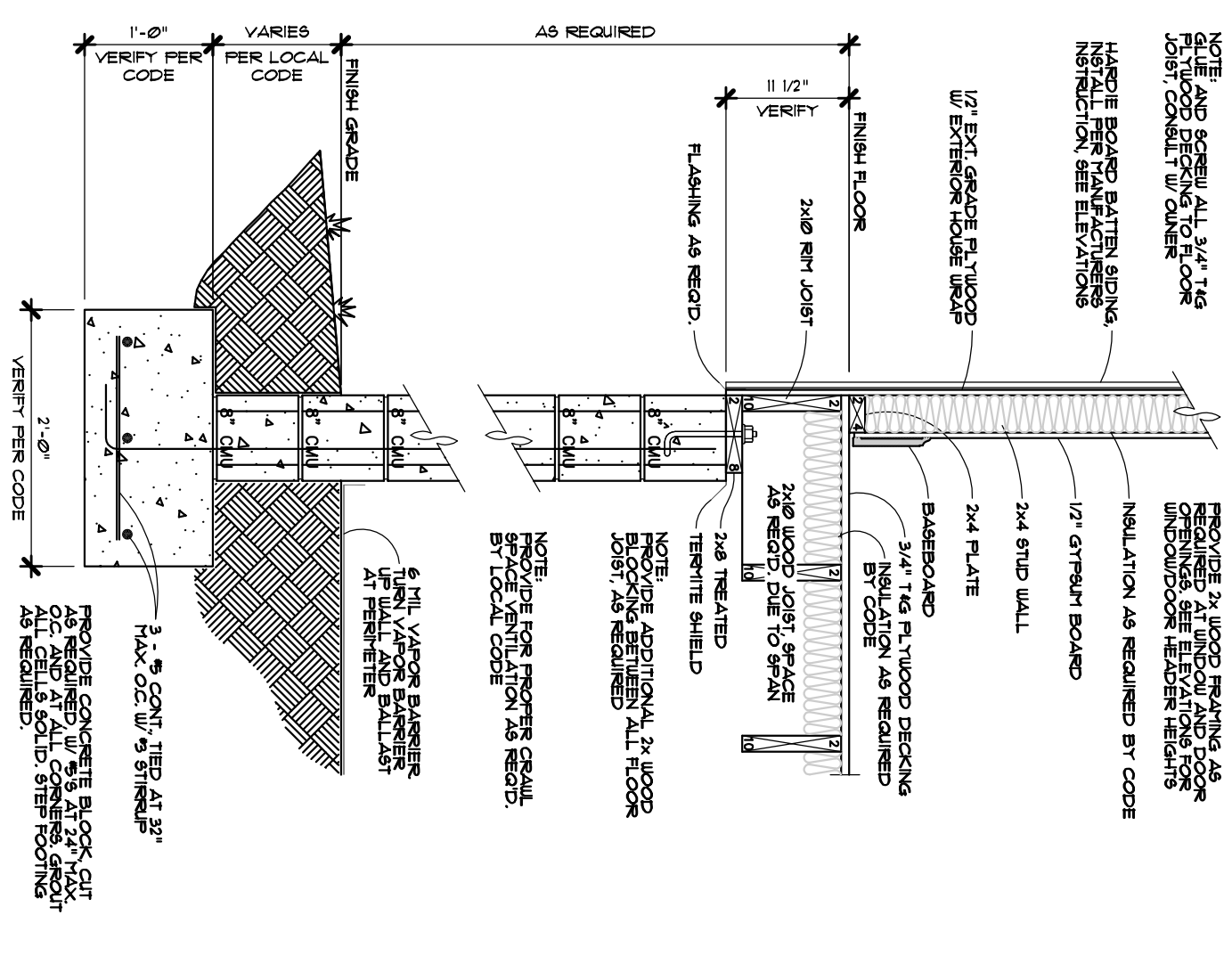
1. This design is the property of Stephen W. Alexander and shall not be reproduced or modified without the written consent of the designer for any purpose.
2. This design is copyrighted and these plans are clearly marked by the circle C symbol and is therefore protected by all applicable laws.
3. The designer assumes no liability for the quality of construction and materials, or for any damages that are made to these plans by others.
4. Any discrepancies that are discovered after construction has begun shall be reported to the designer for evaluation.
5. It is strongly recommended that the purchaser of these plans consult with a registered Architect, Structural Engineer, and/or a licensed Building Inspector for compliance with all local and state building codes in your region.
6. The Builder/Contractor shall verify all dimensions, conditions, and construction requirements before the beginning of any construction.
7. All aspects of the foundation design should be reviewed and approved by a registered Structural Engineer to insure that the foundation design is adequate for the soil conditions that exist at the site of construction.
8. Standard construction practices used in the State of Alabama. The design also conforms to all current Standard Building Codes and International Residential Codes for one and two family dwellings.

Stephen W. Alexander
 Custom Residential Design
 Wetumpka, Alabama
 334-612-1870

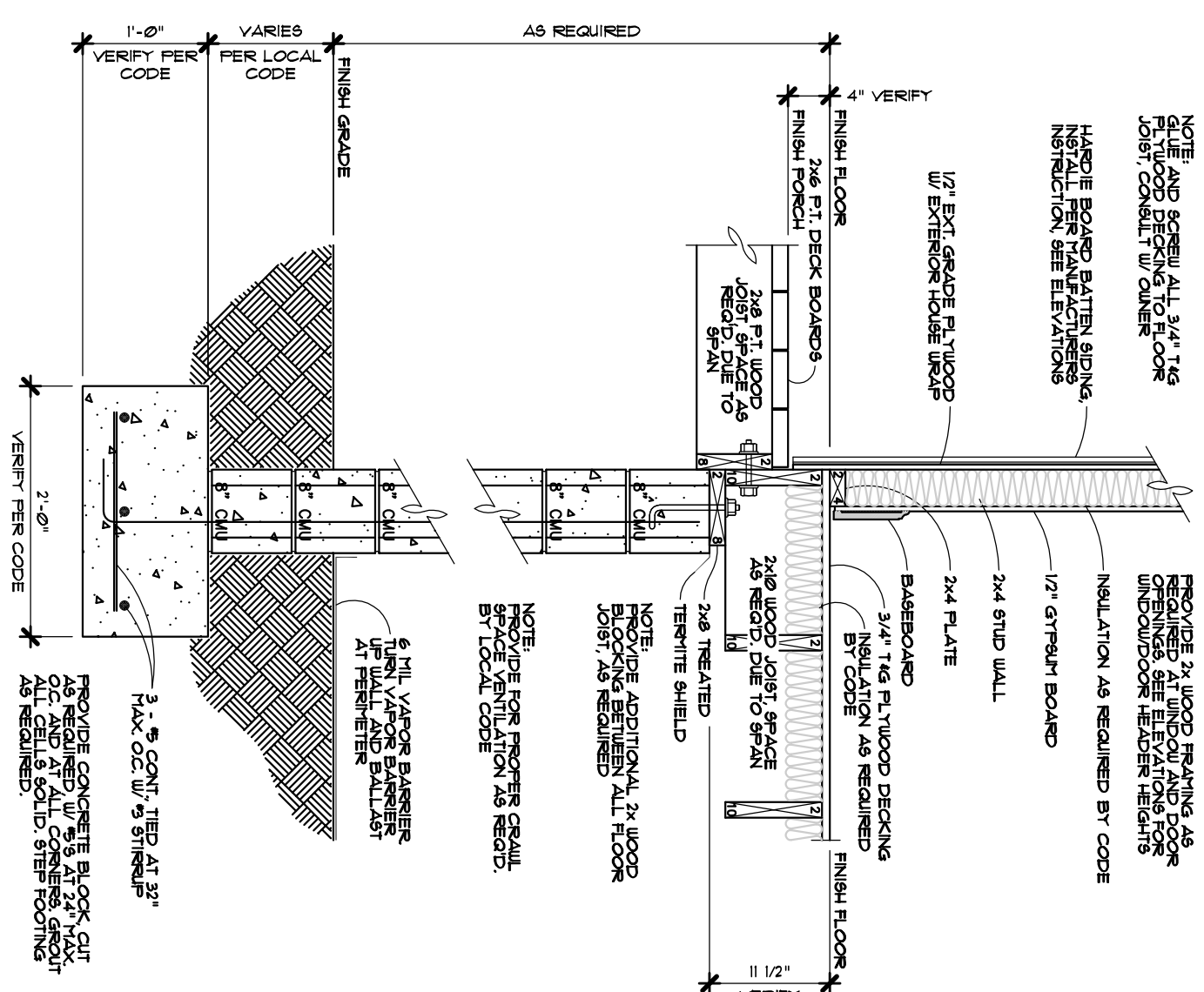
A RESIDENCE FOR:
THE MERRICK FAMILY
 FOUNDATION DETAILS

SQUARE FOOTAGES	
EXISTING LIVING -	1,956
ADDITION LIVING -	919
LIVING SQ. FOOTAGE -	2,875
EXISTING PORCH -	471
PORCHES -	295
TWO CAR GARPORT -	484
COVERED WALK -	59
TOTAL SQ. FOOTAGE -	4,184

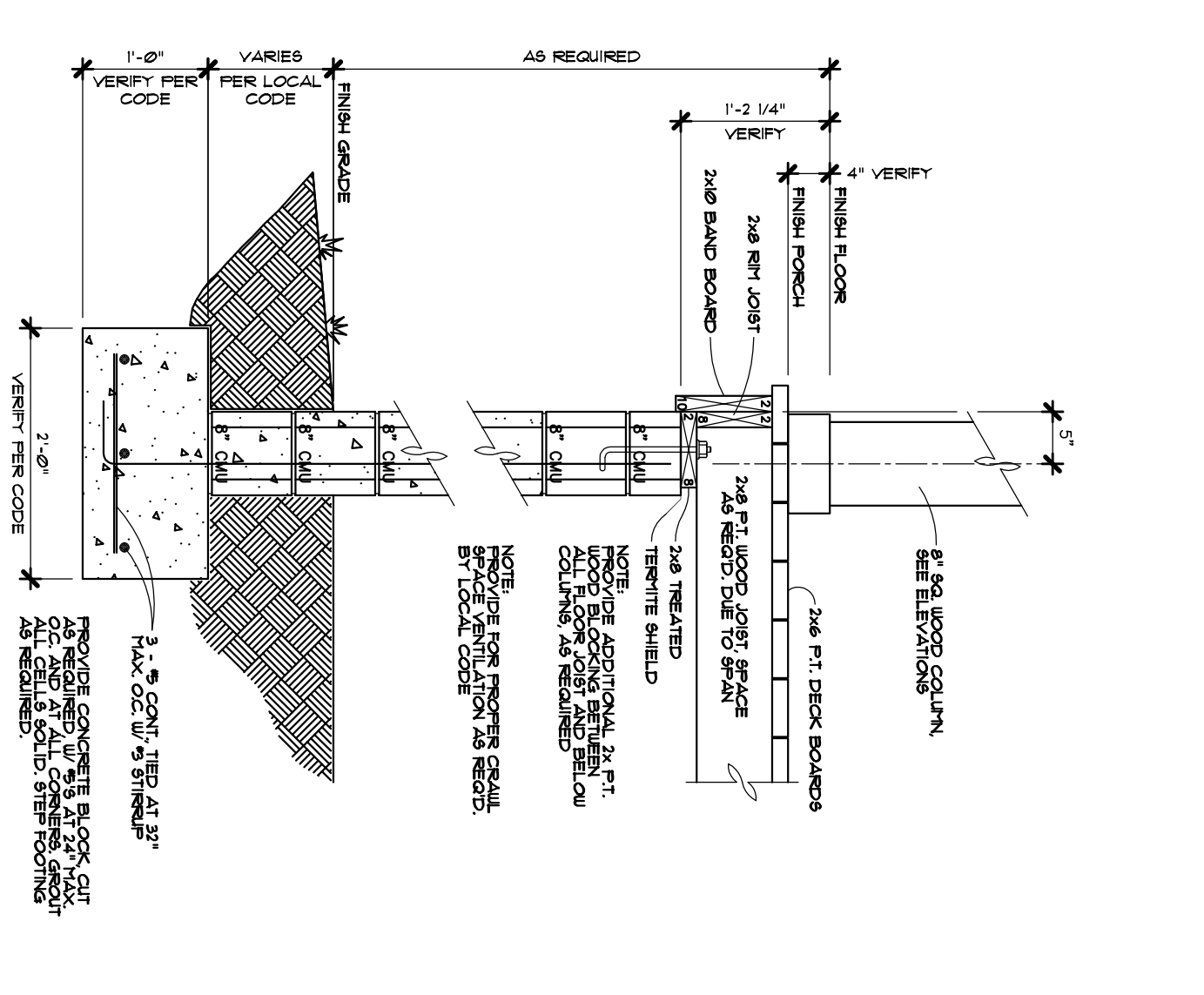
DATE - 5-30-2023
 PROJECT NUMBER - 13723-28 MH
 SHEET 11 OF 11



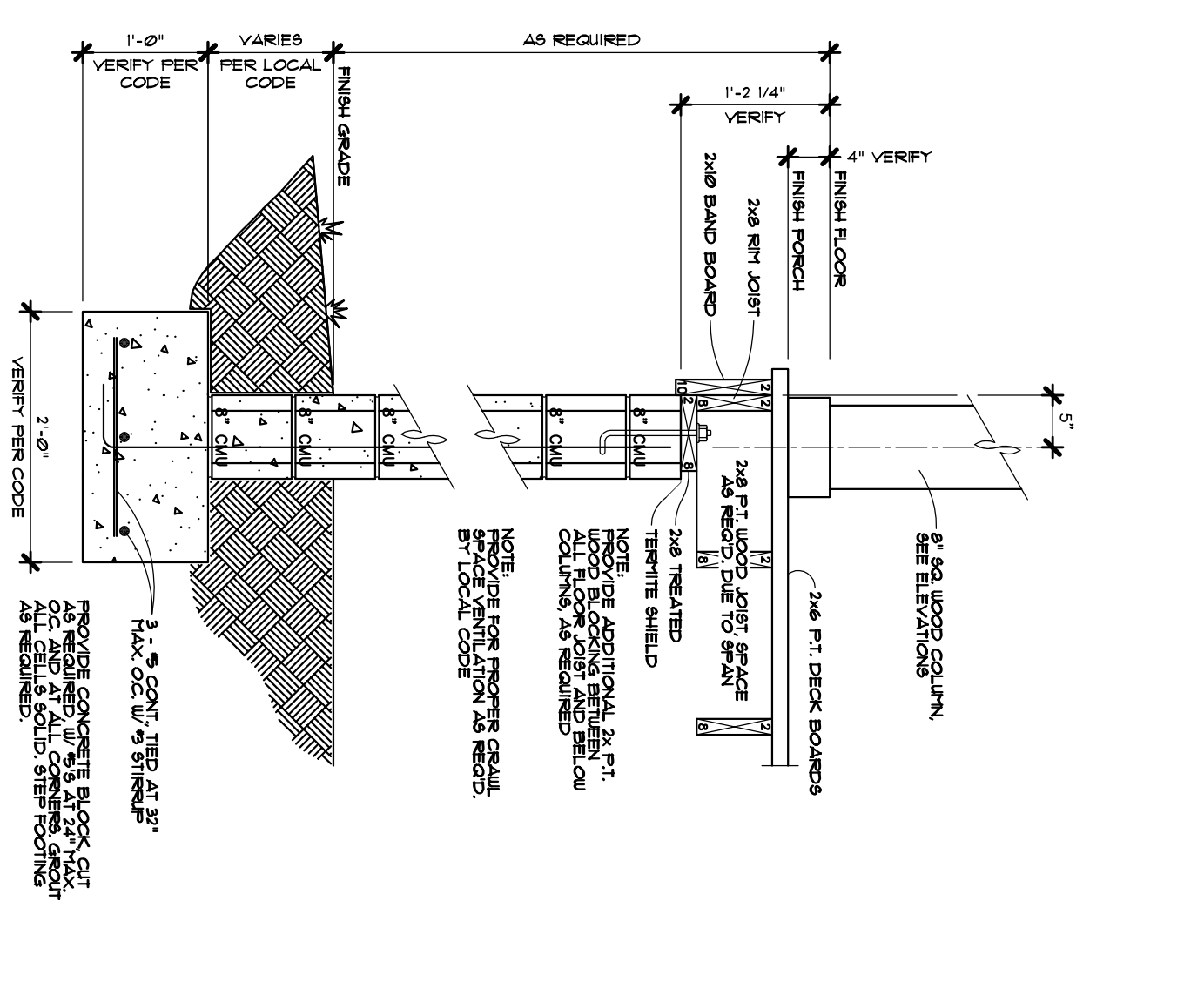
F FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



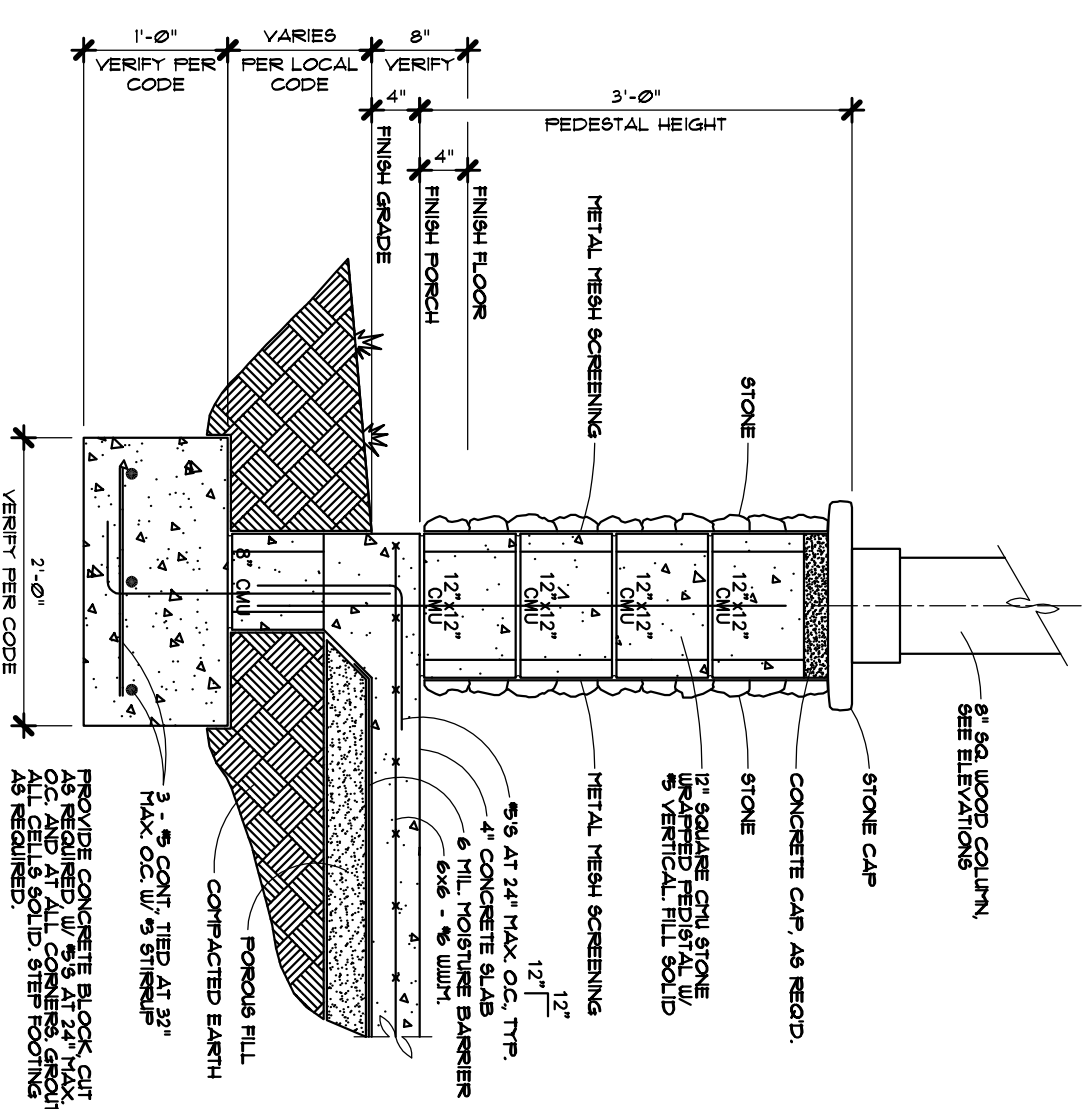
G FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



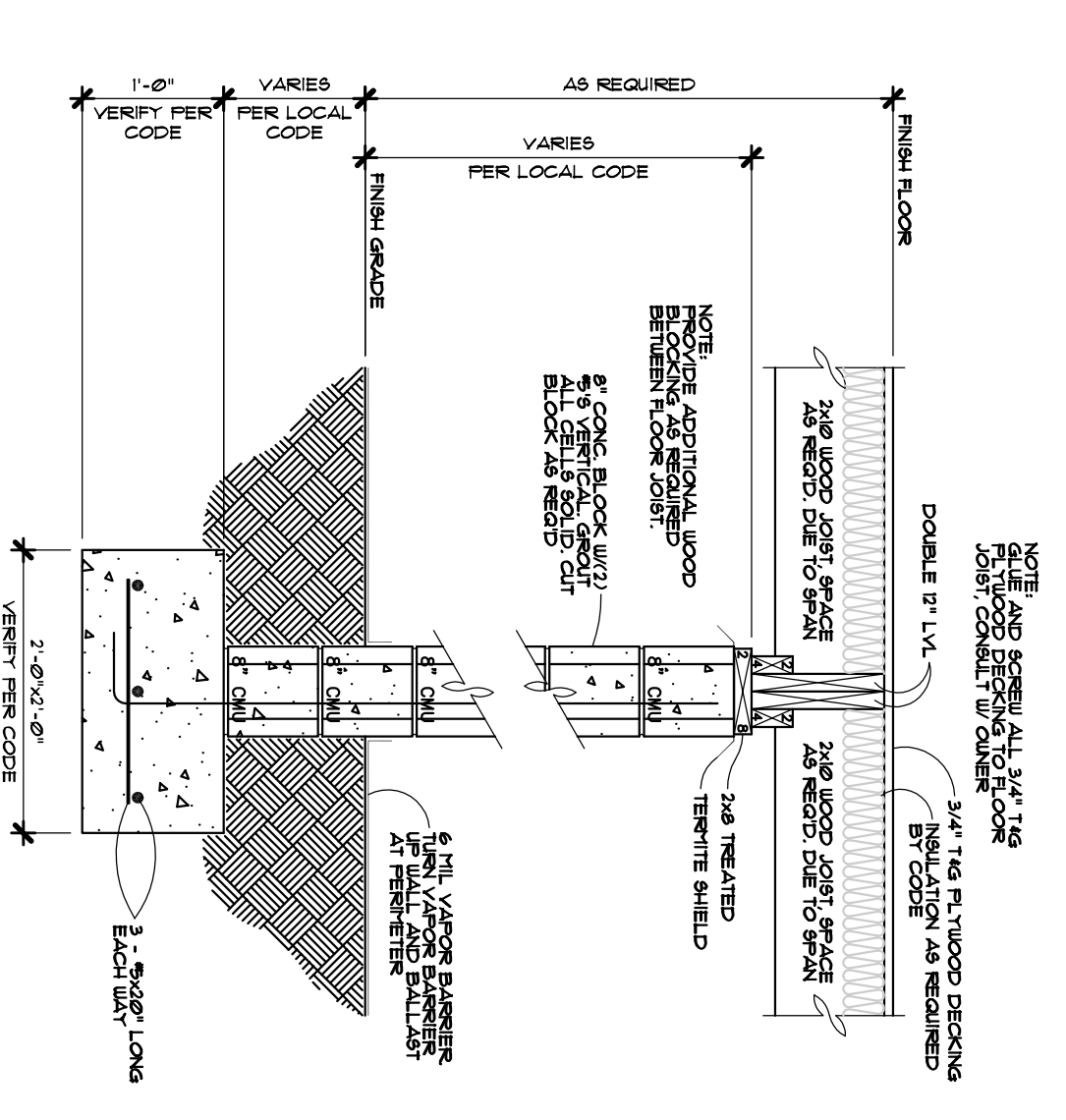
H FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



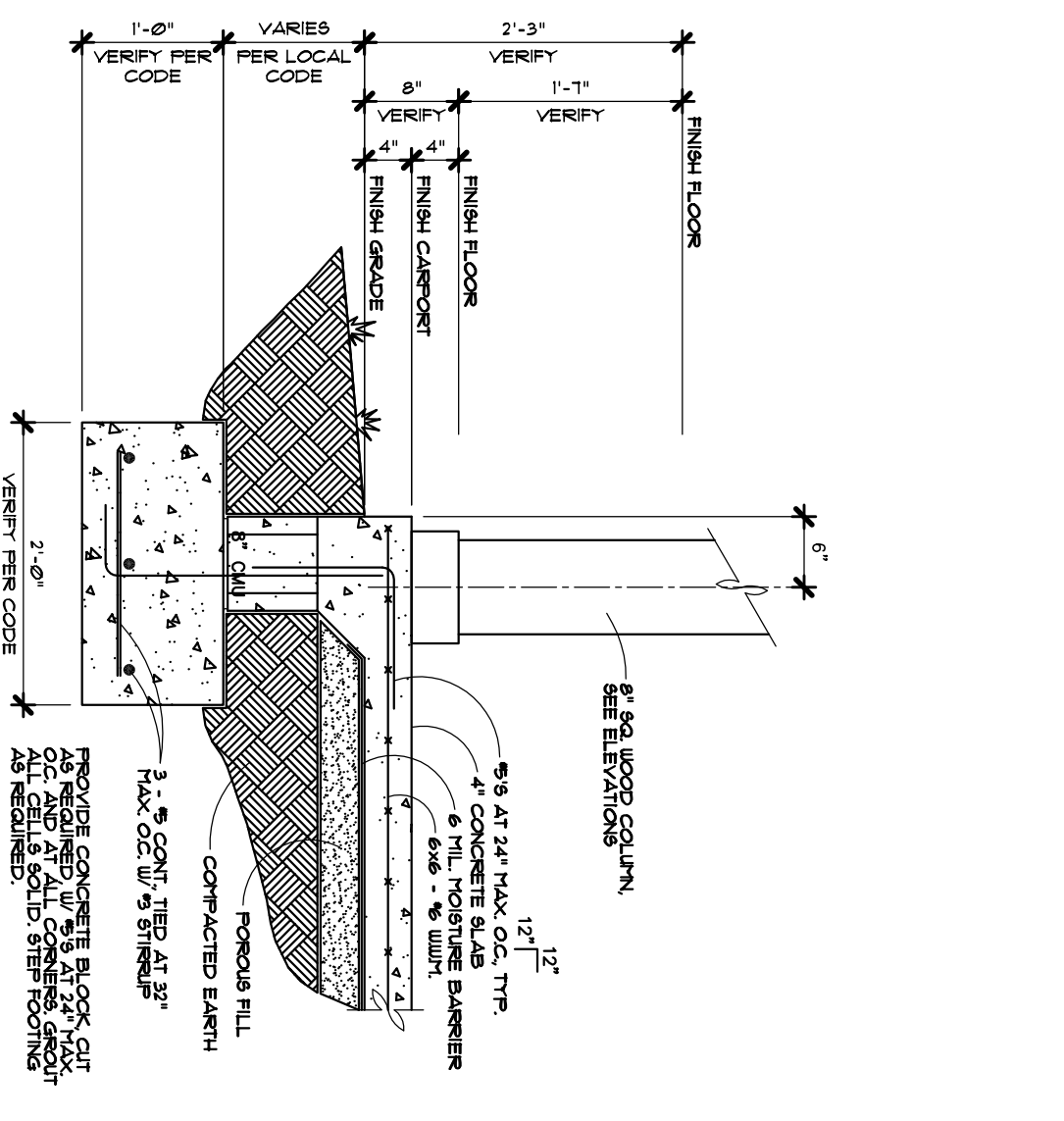
J FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



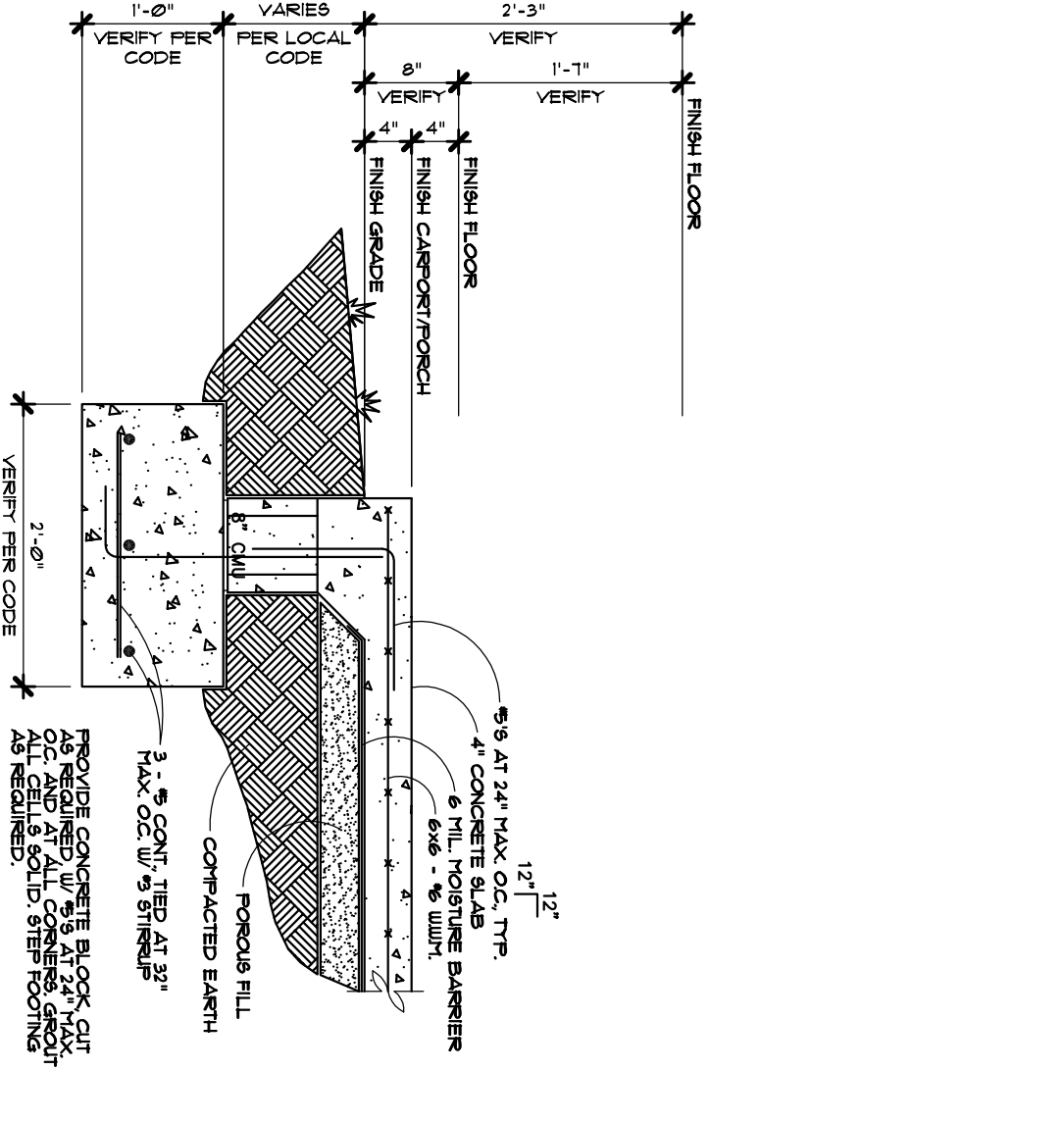
K FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



L FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



M FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"



N FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"